



## Sign Program Application Form

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

### GENERAL INFORMATION

Business: The Collection  
 Address: Southeast corner of Haven Avenue and Fourth Street  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Business License No. \_\_\_\_\_ Exp. Date: \_\_\_\_\_

Applicant: Lewis Retail  
 Address: 1156 North Mountain  
Upland, Ca 91785  
 Phone: 909/949-6715 Email: \_\_\_\_\_

Applicant's Representative: Patrick Faranal c/o National Sign & Marketing  
 Address: 13580 Fifth Street  
Ontario, Ca 91786  
 Phone: 909/287-7375 Email: pfaranal@nsmc.com

*For Staff Use Only*

File No.: PSGP23-001  
 Related Files: PSGP17-003  
PDEV21-013  
 Submitted: 06/02/2023  
 Rec'd By: JA  
 Fees Paid: \$ 906.14  
 Cash  Check (# \_\_\_\_\_)  
 Credit Card  
 Receipt No.: 335609

**Action:**  
 Approved  Denied  
 By: Jeanie Irene Aguiló

### PROJECT INFORMATION

Address: Southeast corner of Haven and Fourth Street.  
 Assessor Parcel No(s): \_\_\_\_\_  
 Development Name: The Collection  
 Zone: \_\_\_\_\_

Is the project site located within the Downtown District (Note: The Downtown District is bordered by "I" Street on the north, Vine Avenue on the west, railroad tracks (immediately south of Emporia Street) on the south, and Sultana Avenue on the east)?  
 Yes  No

**DEVIATIONS FROM PROPOSED SIGN STANDARDS**

A Sign Program may allow certain minor deviations from prescribed sign standards, limited to: [1] a 20 percent increase in maximum sign area, [2] an increase in the maximum total number of signs allowed, and [3] the use of decorative exposed neon. The Planning Director may approve such deviations, provided the below-listed findings are clearly established.

(1) The Plan's contribution to the overall design quality of the site and the surrounding area will be superior to the quality that would otherwise result under regulations normally applicable to the site;

(2) The proposed signs are compatible with the style or character of existing improvements on the site and are well-related to each other; and

(3) Any deviations from the prescribed sign standards are fully consistent with the purposes of the Development Code.

Attach to this application form, a description of all requested deviations, and the reasons supporting each of the above-listed findings. Failure to clearly establish each finding will result in denial of the deviation request.

**APPLICANT ACKNOWLEDGEMENT**

I, the undersigned, certify and say that I am the applicant in the foregoing application, that I have read the foregoing application and know the content thereof, and state that the same is true and correct to the best of my knowledge and belief.

Furthermore, I hereby agree to defend, indemnify, and hold harmless the City of Ontario or its agents, officers, and employees, from any claim, action or proceeding against the City of Ontario or its agents, officers or employees, to attack, set aside, void, or annul any approval by the City of Ontario, whether by its City Council, Planning Commission, or other authorized board or officer, as it pertains to this application. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

Date: 6/02/23 Signature: Patrick Faranal

Digitally signed by Patrick Faranal  
DN: cn=Patrick Faranal, o=National Sign & Marketing, ou=Permit Expeditor,  
email=pfaranal@nsmc.com, c=US  
Date: 2023.06.02 10:07:13 -0700

Name (print or type): Patrick Faranal

**PROPERTY OWNER OR APPROVING AGENT ACKNOWLEDGEMENT**

I, the undersigned, certify and say that I am the  owner,  approving agent, for the property in the foregoing application, that I have read the foregoing application and know the content thereof, and agree to the filing of this application with the City of Ontario.

Date: 6/02/23 Signature: Patrick Faranal

Digitally signed by Patrick Faranal  
DN: cn=Patrick Faranal, o=National Sign & Marketing, ou=Permit Expeditor,  
email=pfaranal@nsmc.com, c=US  
Date: 2023.06.02 10:07:39 -0700

Name (print or type): Patrick Faranal

Address: 13580 Fifth Street  
Chino, Ca 91710

Phone: 909/287-7375



City of Ontario  
 Planning Department  
 303 East B Street  
 Ontario, California 91764  
 Phone: 909.395.2036  
 Fax: 909.395.2420

PSGP17-003 approved 06/02/2017  
 REPLACES PSGP16-001, PSGP06-006  
**Sign Program Application Form**

**GENERAL INFORMATION**

Business: Element Hotel by Westin  
 Address: Piemonte and Ontario Center Parkway  
Ontario CA  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Business License No. \_\_\_\_\_ Exp. Date: \_\_\_\_\_  
 Applicant: Glacier House Hotels  
 Address: 7201 E Camelback Rd #290  
Scottsdale, AZ 85251  
 Phone: 909-266-3430 Email: Michael@glacierdev.com  
 Applicant's Representative: Michael Eichner  
 Address: same  
 Phone: same Email: same

For Staff Use Only

File No: PSGP17-003  
 Related Files: PDEV16-050,  
75GP16-001  
 Submitted: 03/10/17  
 Rec'd By: JA  
 Fees Paid: \$ 1225.00  
 Cash  Check (# 1028)  
 Credit Card  
 Receipt No.: 280123

**Action:**  
 Approved  Denied  
 By: Jeanie Rene Aguilo  
 Date: June 2, 2017

**PROJECT INFORMATION**

Address: Via Piemonte and Ontario Center Parkway  
 Assessor Parcel No(s): 210-2041-18  
 Development Name: Glacier House Hotels  
 Zone: Ontario Center 2254-SF  
 Is the project site located within the Downtown District?  Yes  No

*Note: The Downtown District is bordered by "I" Street on the north, Vine Avenue on the west, railroad tracks (immediately south of Emporia Street) on the south, and Sultana Avenue on the east.*

**DEVIATIONS FROM PROPOSED SIGN STANDARDS**

A Sign Program may allow certain minor deviations from prescribed sign standards, limited to: [a] a 20 percent increase in maximum sign area, [b] an increase in the maximum total number of signs allowed, and [c] the use of decorative exposed neon. The Planning Director may approve such deviations, provided the below-listed findings are clearly established.

1. The Plan's contribution to the overall design quality of the site and the surrounding area will be superior to the quality that would otherwise result under regulations normally applicable to the site;
2. The proposed signs are compatible with the style or character of existing improvements on the site and are well-related to each other; and
3. Any deviations from the prescribed sign standards are fully consistent with the purposes of the Development Code.

Attach to this application form, a description of all requested deviations, and the reasons supporting each of the above-listed findings. Failure to clearly establish each finding will result in denial of the deviation request.

**APPLICANT AFFIDAVIT**

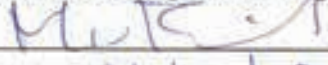
I, the undersigned, certify and say that I am the applicant in the foregoing application, that I have read the foregoing application and know the content thereof, and state that the same is true and correct to the best of my knowledge and belief.

Furthermore, I hereby agree to defend, indemnify, and hold harmless the City of Ontario or its agents, officers, and employees, from any claim, action or proceeding against the City of Ontario or its agents, officers or employees, to attack, set aside, void, or annul any approval by the City of Ontario, whether by its City Council, Planning Commission, or other authorized board or officer, as it pertains to this application. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

Date: 2-15-2017 Signature:   
Name (print or type): Michael Eschner

**PROPERTY OWNER OR APPROVING AGENT ACKNOWLEDGEMENT**

I, the undersigned, certify and say that I am the  owner,  approving agent, for the property in the foregoing application, that I have read the foregoing application and know the content thereof, and agree to the filing of this application with the City of Ontario.

Date: 2-15-2017 Signature:   
Name (print or type): Michael Eschner  
Address: 7201 E Camelback Rd. #290  
Scottsdale Rd, AZ 85251  
Phone: 909-266-3430

1028

ONTARIO GLACIER E LLC

City of Ontario			Original Amt.	Balance Due	3/1/2017 Discount	Payment
Date	Type	Reference				
1/31/2017	Bill	Sign Program	1,225.00	1,225.00		1,225.00
					Check Amount	1,225.00

Bank Of America	Sign Program	1,225.00
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CITY OF ONTARIO  
 REVENUE DEPARTMENT  
 301 E. B STREET  
 ONTARIO, CA 91764  
 (909)395-2022

Qty	Fee
1,225	\$1,225.00

**Total Fee: \$1,225.00**

```

#####
Ref#:          002
Rcpt#:        280123
Acct Date:    03/10/2017 09:56:51AM
Date/Time:    03/10/2017 09:56:54AM
Payor:        ONTARIO GLACIER E LLC
#####
Permit #:     PSGP17-003
Sign Program ..... $1,225.00
  
```

```

#####
RECEIPT SUMMARY
#####
AMOUNT PAID =                $1,225.00
CASH TENDERED =                $0.00
CHECK TENDERED =              $1,225.00
CREDIT CARD TENDERED =        $0.00
MULTIPLE TENDERS =            $0.00
OTHER TENDERS =                $0.00
#####
CHANGE DUE =                   $0.00
UNAPPLIED =                    $0.00
  
```

## **PSGP23-001 – approved on October 26, 2023**

Sign Program Amendment for the Piemonte Comprehensive Sign Program to include The Collection Shopping Center sign standards within the Piemonte Overlay of the Ontario Center Specific Plan. The Collection Shopping Center sign requirements attached to the end of this document.

### **Related File Nos:**

- PSGP17-003, PSGP16-001, PSGP06-006 (previous sign program versions)
- PDEV16-050, PCUP16-023 (approved by City Council on May 16, 2017)
  - Element Hotel (Decisions and Resolutions: PC17-023, PC17-024, R2017-039)
- PDEV21-013 (approved by the Development Advisory Board on January 19, 2022)
  - The Collection Shopping Center (Decision No. DAB22-002)



**Planning: Approved**

10/26/2023 5:05:02 PM

**PSGP17-003 – approved on June 2<sup>nd</sup> 2017**

Sign Program Amendment for the Piemonte Comprehensive Sign Program to include hotel signage requirements for the Element Hotel by Westin located at 900 N. Via Piemonte within the Piemonte Overlay of the Ontario Center Specific Plan. Hotel requirements attached to the end of the document.

**Related File Nos:**

- PSGP16-001, PSGP06-006 (previous sign program versions)
- PDEV16-050, PCUP16-023 (approved by City Council on May 16<sup>th</sup> 2017)

**CITY OF ONTARIO  
PLANNING DEPARTMENT  
APPROVED**

**File No.:** *PSGP17-003*

**Comments:** *Approval of a Sign Program Amendment for the Piemonte Comprehensive Sign Program for the Element Hotel by Westin at 900 N Via Piemonte within the Piemonte Overlay of the Ontario Center Specific Plan. Replaces PSGP16-001.*

**Approved By:** *Jeanie Irene Aguilo* **Date:** *06/02/2017*

**Name & Title:** *Jeanie Irene Aguilo, Assistant Planner*





City of Ontario  
 Planning Department  
 303 East "B" Street  
 Ontario, CA 91764  
 Phone: (909) 395-2036  
 Fax: (909) 395-2420

# Sign Program Application

**APPLICANT/OWNER INFORMATION** (print or type)

Property Owner: 4<sup>th</sup> Street Retail, LLC  
 Address: 515 South Figueroa Street 16<sup>th</sup> Floor Los Angeles, CA  
 Telephone No.: (213) 362-9346 Fax No.: (213) 627-9937  
 Applicant: AD/S Companies (Robin Bell)  
 Address: 1160 Railroad Street Corona, CA 92882  
 Telephone No.: (909) 721-4535 Fax No.: (951) 278-0681  
 Applicant's Representative: Robin Bell  
 Address: 1160 Railroad Street Corona, CA 92882  
 Telephone No.: (909) 721-4535 Fax No.: (951) 278-0681

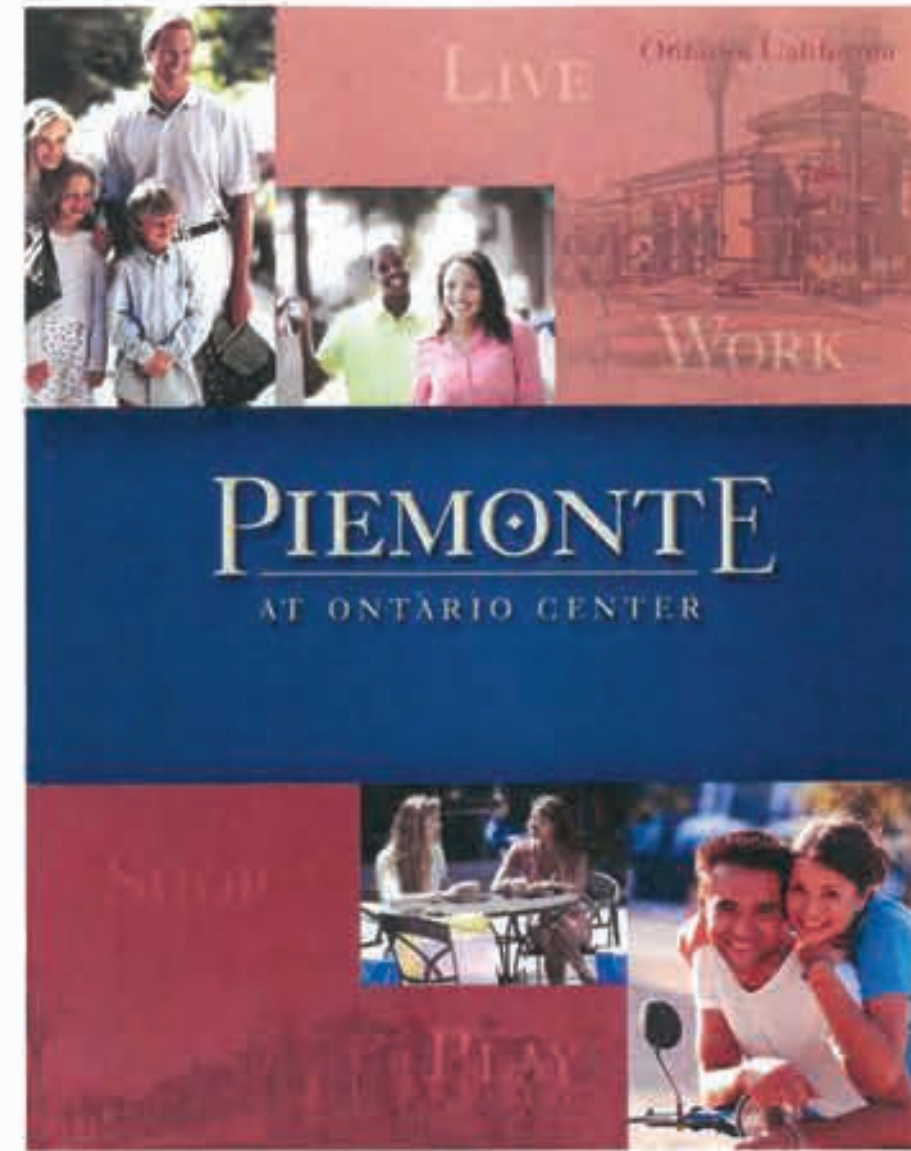
(For staff use only)  
 File No.: PSGP16-001  
 Related Files: Piemonte  
 Submittal Date: 4/7/16  
 Rec'd By: CP  
 Fees Paid: \$1,225.00  
 Receipt No.:  
Invoice 175343  
 Action:  Approved  Denied  
 By: [Signature]  
 Date: 5/18/2016

**SITE INFORMATION**

Site Address (include N, S, E or W): 4200 E. 4<sup>th</sup> ST. ONTARIO, CA 91764  
 Assessor's Parcel No.: \_\_\_\_\_  
 Development Name: PIEMONTE  
 Zone: \_\_\_\_\_ Euclid Avenue Overlay District?:  Yes  No

**NOTES**

UPDATING EXISTING "PIEMONTE" SIGN PROGRAM  
BOUNDED BY HAVEN AVE ON WEST, FOURTH ST  
TO THE NORTH, MILLIKEN TO THE EAST & CONCORDS  
AVE TO THE SOUTH



## COMPREHENSIVE SIGN PROGRAM

September 22nd 2006

Updated February 4th 2016

Updated June 2, 2017 -- PSGP17-003 Replaces PSGP16-001, PSGP06-006



# SIGN CRITERIA

## Owner / Landlord

4th Street Retail, LLC  
515 South Figueroa Street, 16th Floor, Los Angeles, CA 90071  
Tel: 213.362.9346 Fax: 213.627.9937 www.idsrealestate.com

## Project Architect ( Commercial & Retail )

Architects Orange  
144 North Orange Street, Orange, California 92866  
Tel: 714.639.9860 Fax: 714.639.5286

## Landscape Architect

EPT Design  
1214 East Green Street  
Pasadena, CA 91106  
Tel: 626.795.2008 Fax: 626.795.2547

## Sign Consultant

Architectural Design & Signs  
1160 Railroad Street Corona, California 92882  
Tel: 951.278.0680 Fax: 951.278.0681 www.ad-s.com



# PIEMONTE

AT ONTARIO CENTER

## TABLE OF CONTENTS

	PAGE
Objective / Approval Process	1
Sign Styles	2
Type Styles / Lighting / Colors	3
Anchor / Major / Inline Shop Tenant signs	4
Pad Building / Multi-Tenant Signage	5
Blade Signs / Window Signs / Temporary Signs	6
Prohibited Signs / Fabrication Process	7
Site Plan	8
Center ID Pylon (P.1)	9
Events Center Pylon (P.2)	10
Tenant Pylon (P.3)	11
Main Entry Signs (E.S.)	12-14
Tertiary Signs (T.S.)	15
Center I.D. Pylon @ 4th Street (C.I.D.)	16-17
Tenant I.D. Sign @ 4th Street (T.I.D.)	18
Downtown Entry & Tenant I.D. Signs (D.T.)	19
Pedestrian Directory (PD.1)	20
Pedestrian Directory (PD.2 - PD.3)	21
Primary Entrance (Arbor Sign) (P.E.)	22
Secondary Entrance (S.E.)	23
Auto Directory (AD.1-AD.5)	24
Multi-Tenant Monument (M.T.M.1-M.T.M.2)	25
Parking Code Entry Signs	26
Stop & Handicap Signs	27
Building Address Numbers	28
Window Graphics & Rear Entry Signs	29
Petsmart Prototypical Building and Signage	30

# OBJECTIVE

## PURPOSE & INTENT

It is the intent of the sign development standards, sign guidelines, and conceptual placement locations set forth in this section to maximize identification of the Piemonte at Ontario Center ("The Project") as a distinct planned "community", and to maximize the visibility of individual commercial tenants within a manner that compliments the overall image of "The Project". The provisions of this Section set forth the requirements that apply to signage throughout "The Project" area.

## SUBMITTAL REQUIREMENTS

Sign Program submittals shall include the drawings and details for review as specified on the application forms provided by the City of Ontario Development Director, including, as appropriate:

- a. Elevation(s) of buildings for which signs are being requested, showing design, location, size, and layout of wall signs. Elevations shall be drawn to scale indicating dimensions, attachment devices, and construction details.
- b. Site plan of the site for which signs are being requested showing building and perimeter with location of proposed and existing ground mounted and pole mounted signs, and elevations showing proposed design and dimensions of signs.
- c. Materials board showing actual sample materials with locally manufactured paint color(s).
- d. Section through letter and/or sign panel showing the dimensioned projection of the letter face and/or sign panel. The method of illumination shall also be identified.
- e. Written approval by Owner/Landlord, prior to submittal for City approval.



## APPROVAL

The Owner/Landlord has engaged the services of a SIGN CONSULTANT for the entire project who will assist in the review and approval of Tenant sign submissions and insure their conformance to the project's overall SIGN CRITERIA.

At least thirty (30) days prior to the Owner/Landlord's scheduled delivery of the premises, Tenant shall provide the following information to the Owner/Landlord for review and approval.

Note: This information is separate from sign approval submission and store design and drawing submissions, and will be used to begin the sign design process.

- Store Name;
- Store Logo (in color with colors identified);
- Store interior materials, colors and finishes.

Allowing reasonable time for Owner/Landlord's review and Tenant's revision of submission in advance of sign fabrication, tenant shall submit for Owner/Landlord's approval, via e-mail complete and fully dimensioned shop drawings of the Tenant's sign to the Owner/Landlord's Tenant coordinator.

Shop drawings shall include at least the following: Tenant's entire building facade elevation, showing the proposed sign, in color drawing to scale of 1/4" = 1'-0".

Storefront (partial building) elevation showing the location, size, color, construction and installation details of the Tenant's proposed sign. Typical "section-through" letter and/or sign panel showing the dimensioned projection of the letter or panel face and the illumination method.

Color and material samples together with a photograph (if possible) of a similar installation.

Within fourteen (14) days of receipt of the sign submission, the Owner/Landlord will approve, as noted, or disapprove with comments the Tenant's sign design. Tenant must respond to the Owner/Landlord's comments and re-submit within fourteen (14) calendar days, and repeat this process until all sign design, fabrication and installation issues are resolved to the Owner/Landlord's satisfaction.

Upon receipt of final sign approvals from Owner/Landlord, Tenant may submit the proposed sign to the City, for review for consistency with sign program and the required fabrication and installation permits. Tenants are required to provide one (1) set of the Owner/Landlord approved drawings to the City, when submitting for building permits.

## SIGN STYLES

Creative and imaginative signage is strongly encouraged and will be the standard for Owner/Landlord's review/approval of all sign design submittals.

There are many acceptable sign treatments, however a mixed media three-dimensional approach combining several different fabrication and lighting techniques is preferred. Tenants are strongly encouraged to consider the specific architectural style of their facade, the overall concept of the project, the scale of the proposed sign and the critical viewing angles and sight lines when designing appropriate graphics and signs for the storefront. Note that specific locations and surrounding architectural treatments can limit the maximum sign height and length, which may differ from the general guidelines proposed above. The Owner/Landlord reserves the right to approve or reject any proposed sign on the basis of the size, placement, and/or design.

Acceptable sign styles include:

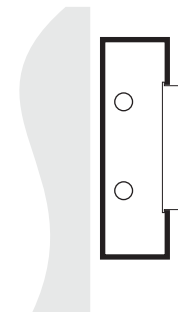
1. It is the intention of this Criteria, to permit standard illuminated letters as a component of the following:
  - a. Front and halo illuminated channel letters.
  - b. If they are successfully used as a part of an approved mixed media 3-dimensional sign.
2. **Mixed Media\*** /3-dimensional signs using images, icons, logos, etc.
3. **Mixed Media\***, 3-dimensional signs painted gold, silver or copper leaf.
4. Halo illuminated letters, 3" deep minimum.
5. Dimensional geometric shapes.
6. Sandblasted; textured, and/or burnished metal-leaf faced letters, pin mounted from facade.
7. Signs mounted to hard canopies, eyebrows or other projecting architectural elements. Screens, grids, or mesh; Etched, polished, patina or abraded materials; For example:
  - a. Prismatic face letter forms with full facets strokes.
  - b. Rounded face letter forms with radius faces and eased edges;
  - c. Layered letterforms with face and line. Letter face must be at least 1" thick, and the liner must be minimum of 1/2" inch thick.

\***Mixed media** signs are signs employing two or more illumination and fabrication methods.

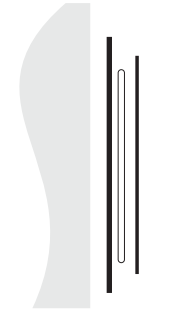
Although simple rectangular cabinet signs are generally not allowed, mixed media signs may be composed of several elements, one of which may be a cabinet. However, the cabinet sign should not exceed 50% of the total sign area.

With the Owner/Landlord approval, complex shaped (i.e Polyhedron) sign cabinets may be used alone if they incorporate dimensional elements such as push-through letters or exposed neon.

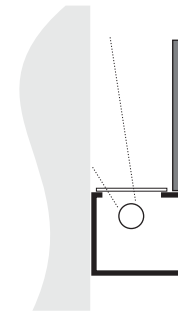
Note: Based upon an enhancement of mixed media and 3-dimension presentation, the Owner/Landlord may at its sole discretion allow an increase of 15% to the maximum sign area with approval of approving parties.



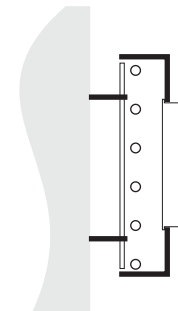
Routed Pushed Through Copy



Metal Cut Out Panel with Halo Illumination



Free standing letters with Cove lighting effect



A combination of routed and backed up copy out of a halo illuminated panel

Graphic Examples





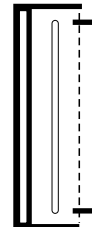
Halo Illumination



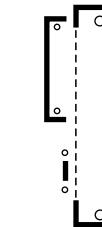
Standard Channel Letters



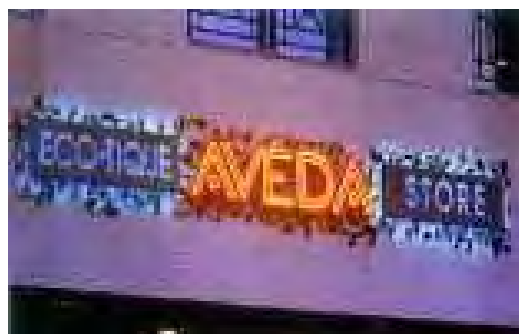
Front and Halo lit Channel Letters



Mixed Media: Halo letters on wire mesh background and exposed neon accents



Graphic Examples



A combination of open channel letters with exposed neon and routed backgrounds with halo illumination.

## TYPE STYLES & LOGOS

The use of logos and distinctive type styles is encouraged for all Tenant signs. Sign lettering should be combined with other graphic and or dimensional elements denoting the type of business. The tenant may adapt established styles, logos and/or images that are in use on similar buildings operated by the tenant, provided that these images are architecturally compatible and approved by the Owner/Landlord. The typeface may be arranged in one (1), two (2), or three (3) lines of copy and may consist of upper and/or lower case letters. The Tenant should identify trademark protected type and marks in their sign submission to assist the Developer in the review process.

## LIGHTING

Tenant signs should be creatively illuminated, using a variety of lighting techniques. One or more of the following are allowed:

1. Front and halo illuminated channel letters.
2. Halo illuminated pin-mounted reverse channel letters.
3. Reverse channel neon with silhouette illumination.
4. Fiber optics.
5. Incandescent light bulbs.
6. Internally illuminated signs with seamless opaque cabinets and pushed-through lettering.
7. Cove lighting.
8. Exposed neon as accents

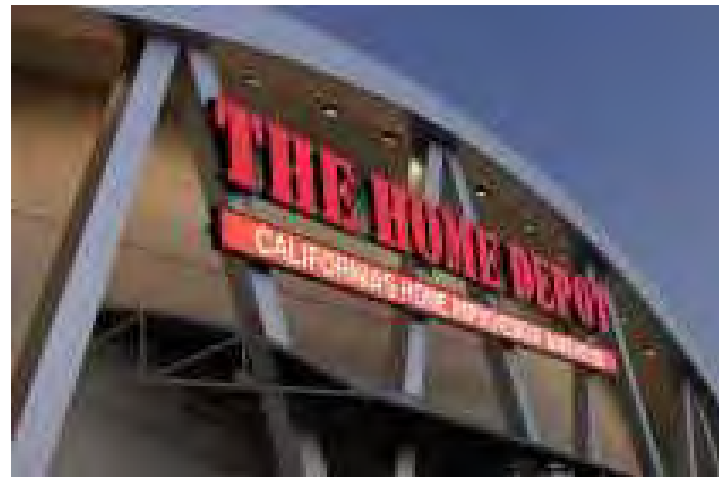
All front lighting must be baffled and obscured from direct visibility with recessed channels, which are fully integrated into the building facade elements. Decorative shrouds or housings, custom designed and fabricated to maintain or enhance the architectural integrity of the building may be used to conceal "off the shelf" standard fixtures subject to Owner/Landlord's approval.

## COLORS

The following guidelines are for selecting colors of Tenants' signing. The project and the individual building facade will consist of a variety of colors and materials. The Owner/Landlord encourages the tenant to consider these colors when choosing their own sign colors.

Signs may incorporate regionally and nationally recognized logo colors. Sign colors should be selected to provide sufficient contrast against building background colors. Sign colors should provide variety, sophistication and excitement. Interior of open channel letters should be painted dark when placed against light backgrounds.

Neon colors should complement related signing elements.



### Anchor Tenant Signage ( Over 80,000 s.f. )

- Tenant storefront signage for “The Project” is based on the regulations as set out in the written code - one (1) sq. ft. of sign area per one (1) linear foot of store frontage.
  - There is no maximum height for any overall sign.
  - The maximum letter height for this project may not exceed six ( 6 ) feet in height.
  - The maximum sign area for each Tenant may not exceed the maximum letter height times the width of the storefront.
  - Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation.
  - The overall width of any sign shall not exceed 80% of Tenant’s leased frontage.
  - A maximum of three (3) descriptive signs per front elevation are allowed. Overall sign height shall be limited to 24" per line unless larger signs are consistent with the building's sign area proportions as determined by Owner/Landlord and the City Planning Director. Exposed neon will be allowed.
- Tenants may be allowed additional sign area to enhance the graphic and/or architectural balance. However, this option will be at the sole discretion of the Owner/Landlord and the City Planning Director. All Signs shall be measured by drawing a shape (rectangle or other) around each element of the individual signs. For example, measure the area of letters and area of icon and / or logo separately.

### Major Tenant Signage ( 25,000 - 79,999 s.f. )

- One (1.75) sq. ft. of sign area per one (1) linear foot of store frontage.
  - The maximum letter height for this project may not exceed four-foot-six (4'-6") feet in height.
  - The maximum sign area for each Tenant may not exceed the maximum letter height times the width of the storefront.
  - Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation.
  - The overall width of any sign shall not exceed 80% of Tenant’s leased frontage.
  - A maximum of three (3) descriptive signs per front elevation are allowed. Overall sign height shall be limited to 20" unless larger signs are consistent with the building's sign area proportions as determined by Owner/Landlord and the City Planning Director. Exposed neon will be allowed.
- Tenants may be allowed additional sign area to enhance the graphic and/or architectural balance. However, this option will be at the sole discretion of the Owner/Landlord and the City Planning Director. All Signs shall be measured by drawing a shape (rectangle or other) around each element of the individual signs. For example, measure the area of letters and area of icon and/or logo separately.

### Minor Tenant Signage ( Less than 25,000 s.f. )

- One (1.60) sq. ft. of sign area per one (1) linear foot of store frontage.
  - The maximum letter height for this project may not exceed four ( 4 ) feet in height.
  - The maximum sign area for each Tenant may not exceed the maximum letter height times the width of the storefront.
  - Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation.
  - The overall width of any sign shall not exceed 80% of Tenant’s leased frontage.
  - A maximum of two (2) descriptive signs per front elevation are allowed. Overall sign height shall be limited to 15" unless larger signs are consistent with the building's sign area proportions as determined by Owner/Landlord and the City Planning Director. Exposed neon will be allowed.
- Tenants may be allowed an extra 15% of sign area to enhance the graphic and/or architectural balance. However, this option will be at the sole discretion of the Owner/Landlord and the City Planning Director. All Signs shall be measured by drawing a shape (rectangle or other) around each element of the individual signs. For example, measure the area of letters and area of icon and/or logo separately.



### Pad Building Tenant Signage

- One (1) sq. ft. of sign area per one (1) linear foot of store frontage.
- The maximum allowable sign area for Pad Tenants is not to exceed 2 square feet per linear foot of tenant store frontage, up to a maximum of 200 square feet per elevation.
- Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on three (3) elevations maximum.
- The maximum allowable letter height is not to exceed forty-two (42) inches. Overall signage area height not to exceed four (4) feet.
- The overall width of any sign shall not exceed 80% of Tenant's leased frontage unless otherwise approved by Owner/Landlord and City of Ontario.

- Tenants may be allowed an extra 15% of sign area to enhance the graphic and/or architectural balance. However, this option will be at the sole discretion of the Owner/Landlord and the City Planning Director. All Signs shall be measured by drawing a shape (rectangle or other) around each element of the individual signs.  
For example, measure the area of letters and area of icon and/or logo separately.

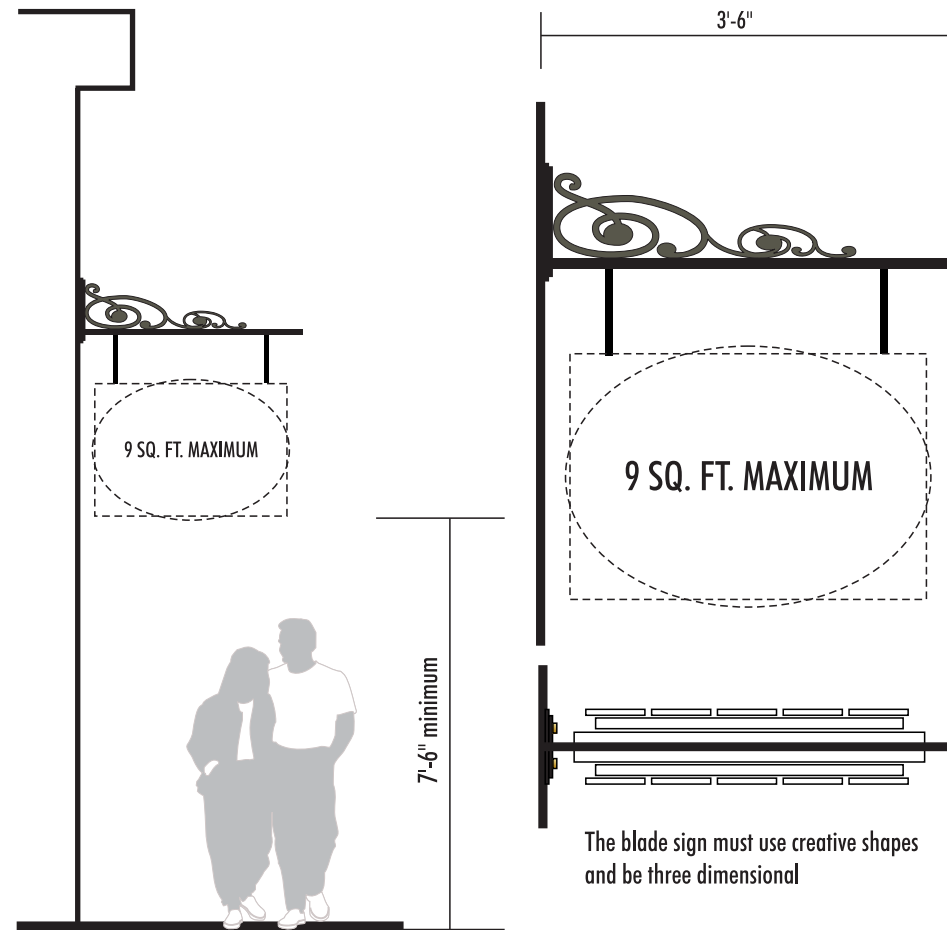
### Pad Building Multi-Tenant Signage

- One (1) sq. ft. of sign area per one (1) linear foot of store frontage.
- The maximum allowable sign area for Pad Tenants is not to exceed 5 square feet per linear foot of tenant store frontage, up to a maximum of 200 square feet per elevation.
- Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on two (2) elevations maximum.
- The maximum allowable letter height is not to exceed thirty-six (36) inches. Overall signage area height not to exceed four (4) feet.
- The overall width of any sign shall not exceed 80% of Tenant's leased frontage unless otherwise approved by Owner/Landlord and City of Ontario.

- Tenants may be allowed an extra 15% of sign area to enhance the graphic and/or architectural balance. However, this option will be at the sole discretion of the Owner/Landlord and the City Planning Director. All Signs shall be measured by drawing a shape (rectangle or other) around each element of the individual signs.  
For example, measure the area of letters and area of icon and/or logo separately.







NOTE: THE DESIGN OF THE BLADE SIGN BRACKET MUST BE SUBMITTED WITH THE DESIGN OF THE BLADE SIGN AS A COMPLETE PACKAGE.

### Blade Signs

Each tenant is required one ( 1 ) blade sign and/or mixed media sign per street front. The blade sign program requires that each Tenant's graphic identity be transformed into a 3-dimensional double-faced sign. The Owner/Landlord encourages the Tenant to propose blade sign design, which enrich the pedestrian environment with a creative use of color and material combined with a strong store name identification.

Blade signs shall project no more than 3'-6" from the building face, and shall be no more than 3'-0" in height, with a maximum of nine ( 9 ) square feet of area for each face. Clearance from the underside of the blade sign to the finished common area paving shall be a minimum of 7'-6". The thickness of any blade sign shall not be less than 1-1/2"

Blade signs may be either internally illuminated or externally illuminated.

Proposals for blade sign designs will be reviewed at the time of the Tenant's overall sign design submission. It is the responsibility of the Tenant to ensure that the fabrication and installation contractor includes adequate support and primary electrical for the blade sign.

The blade sign may not be the primary store identification sign.



### Window Signs

Tenants are not permitted to display any posters or temporary signs on their storefront windows without the express written approval of Owner/Landlord and the City of Ontario. Permanent window signs will be permitted and may not exceed 20% of the window area. However window signing will also be part of the approval process. A high quality of graphic presentation is required and may not be installed without written approval from all approving parties. Store hours will be permitted within a 12" x 12" area.

### Temporary Signs

Tenants are not permitted to display any temporary banners or posters without prior written approval from the Owner/Landlord and the City of Ontario. Seasonal banners used for promotional and marketing purposes will be subject to the approval of the Developer and the City of Ontario.

## The following Signs and Elements are PROHIBITED.

**A. Immoral or Unlawful Advertising.** Exhibiting, posting, displaying or causing to be exhibited, upon any sign, anything of obscene, indecent, or immoral nature or unlawful activity shall be prohibited.

**B. Animated, Audible, or Moving Signs.** Signs incorporating moving, swinging, rotating, noise making, flashing, blinking, scintillating, fluctuating, or otherwise animated parts or lights, used to attract attention for the purpose of promoting (either directly or indirectly) the sale of products or identifying a Tenant, shall be considered subject to the approval of the Owner/Landlord.

**C. Outdoor Advertising Structure or Design.** Signs placed for the purpose of advertising products or services that are not produced, stored, or sold on the property upon which the signs are located shall be prohibited.

**D. Common Area Signs.** No signs are permitted in the common area except as indicated within this Sign Program.

**E. Vehicle Signs.** No vehicle, including trailers, shall be parked for the principal purpose or advertising or display. Vehicles or other signs or devices on private property or in the public right-of-way, when used as advertising devices or displays, shall be prohibited.

**F. Light Bulb Strings and Exposed Tubing.** External displays that consist of unshielded light bulbs shall be prohibited unless part of an overall seasonal promotion e.g. Christmas Lights. Exposed neon or gaseous light tubing and tivolli lighting, when the display is an integral part of the design character of the activity to which it relates, may be approved.

**G. Roof Signs.** No roof signs or roof-mounted signs shall be permitted unless they are incorporated as an integral part of the design of the building's architecture. Except address numerals and/or Tenant name as allowed by city ordinance.

**H. Advertising Devices.** No advertising displays promoting commercial Tenants other than those in the Specific Plan are shall be permitted.

**I. Temporary Signs.** "A" frame signs, attraction boards, "human" signs, posters, balloons, and sandwich board signs (including signs such as "Lotto" signs) shall be prohibited at all times.

**J. Religious Assembly.** Signs for religious uses may only indicate facility or Tenant name(s).

## Fabrication

The Tenant must ensure that their sign fabricator and installer understand their responsibilities before they begin the sign fabrication.

The Tenants sign contractor(s) are responsible for the following:

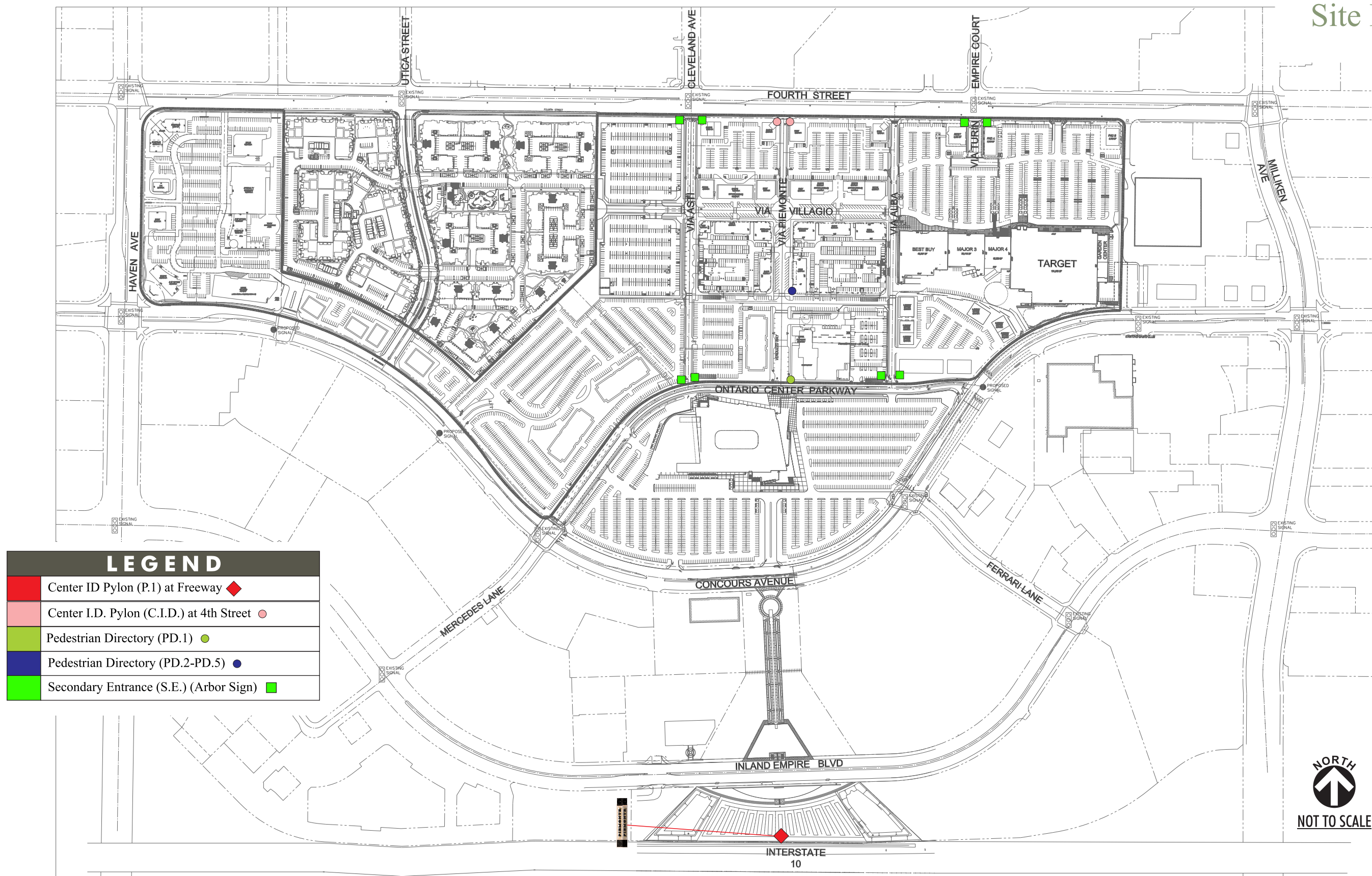
1. Signs must be fabricated of durable appropriate weather resistant materials complementary to the base building materials.
2. Dissimilar metals used in sign fabrication shall be separated with non-conductive gaskets to avoid electrolysis. Additionally stainless steel fasteners shall be used to attach dissimilar metals.
3. Threaded rods or anchor bolts shall be used to mount sign letters which are held off the background panel. Angle clips attached to letter sides will NOT be permitted.
4. Colors, materials, finishes shall exactly match those submitted to and approved by the Owner/Landlord.
5. Visible welds and seams shall be ground smooth and filled with auto body compound before painting.
6. No fasteners, rivets, screws or other attachment devices shall be visible from any public vantage point.
7. Finished metal surfaces shall be free from canning and warping. All sign finishes shall be free of dust, orange peel, drips and runs and shall have a uniform surface conforming to the highest industry standards.
8. Reverse channel letters shall be pinned two (2") inches from the wall. The letter return depth shall be a minimum of three (3") inches and letters shall have a clear *Lexan* backing.
9. Double neon tube shall be used where the width of the letter stroke exceed two and a half (2½") inches.

## Installation

The Tenant's sign installer will provide the following:

- Obtain all required permits from the City of Ontario, and deliver copies to the Owner/Landlord before installing the sign(s).
- Keep an Owner/Landlord approved set of sign drawings on site when installing the sign.
- Warrant the sign against latent defects in materials and workmanship for a minimum of one (1) year.





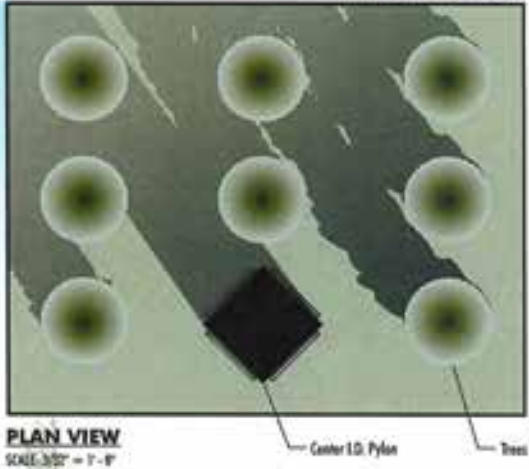
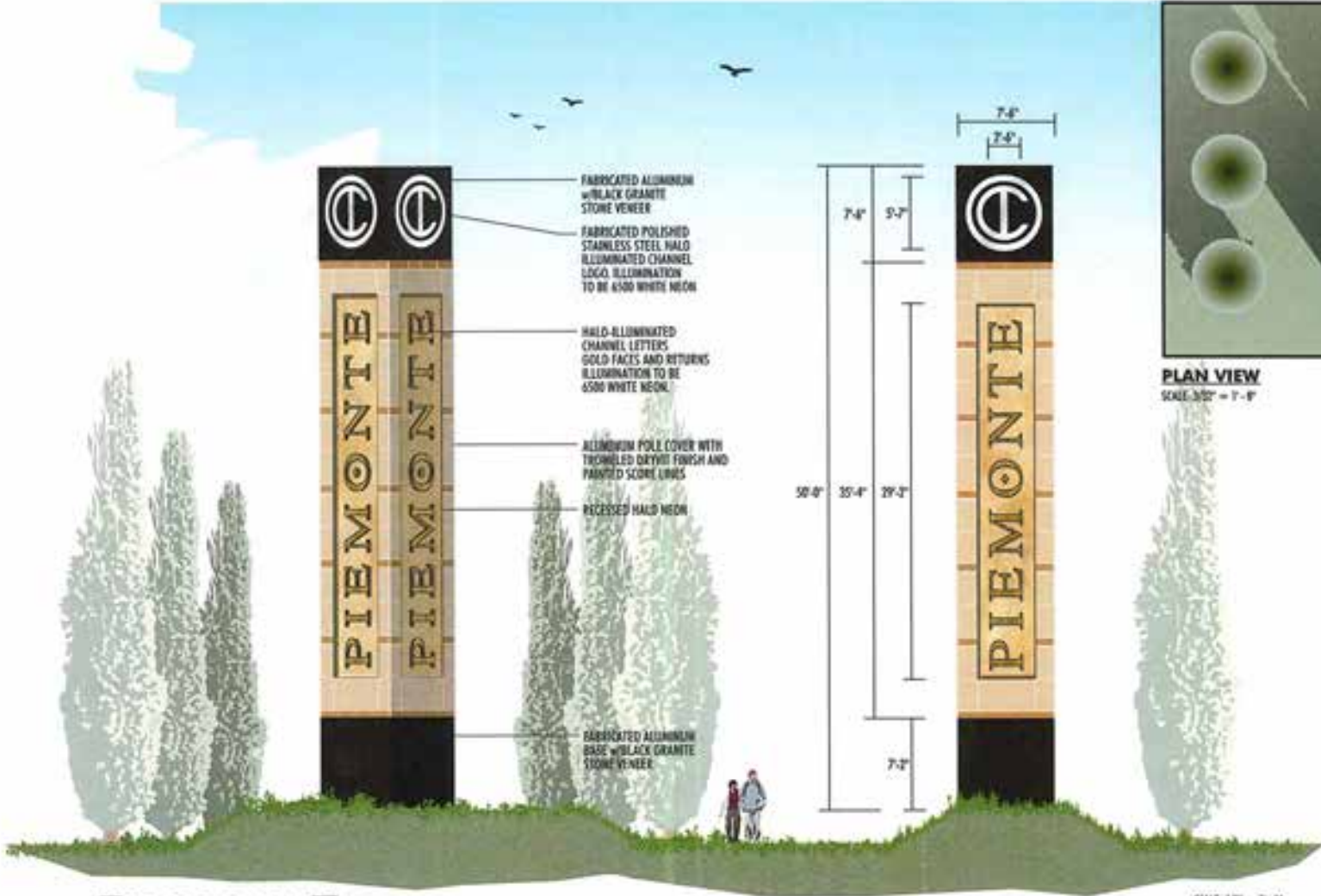


LEGEND	
	Tenant Pylon (P.2)
	Events Center Pylon (P.3)
	Main Entry Signs (E.S.)
	Tertiary Signs (T.S.) (Arbors / Column)
	Tenant ID Signs (T.I.D.) at 4th Street
	Downtown Entry & Tenant ID Signs (D.T.)
	Pedestrian Directory (PD.2-PD.5)
	Primary Entrance (P.E.) (Arbor Sign)
	Auto Directory (A.D.)
	Multi-Tenant Monument (M.T.M.)



Site Specific Elements

● Center ID Pylon (P.1)  
at Freeway

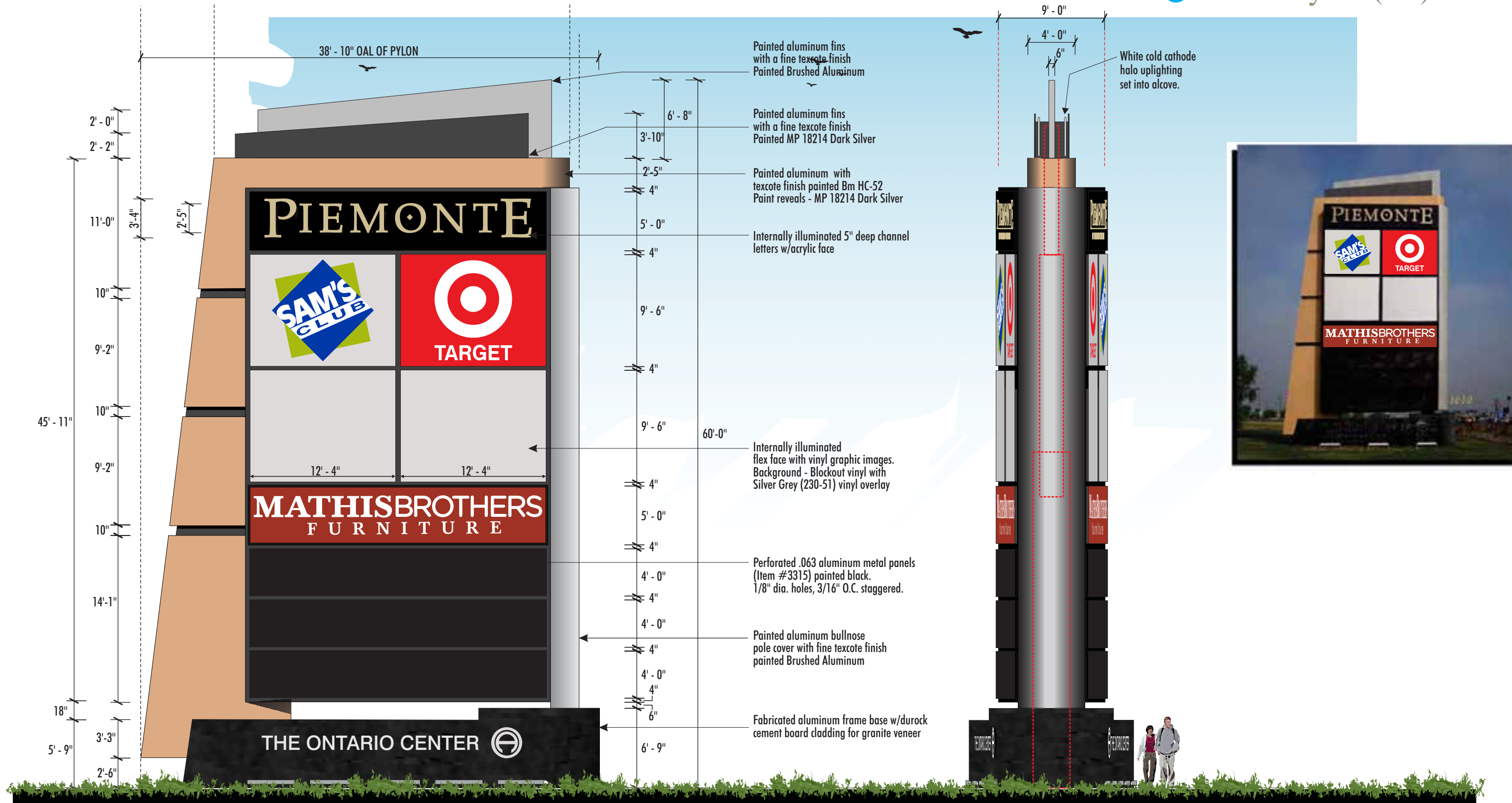


**PIEMONTE**  
AT ONTARIO CENTER



*Signature* 5/10/16

Tenant Pylon (P.2)



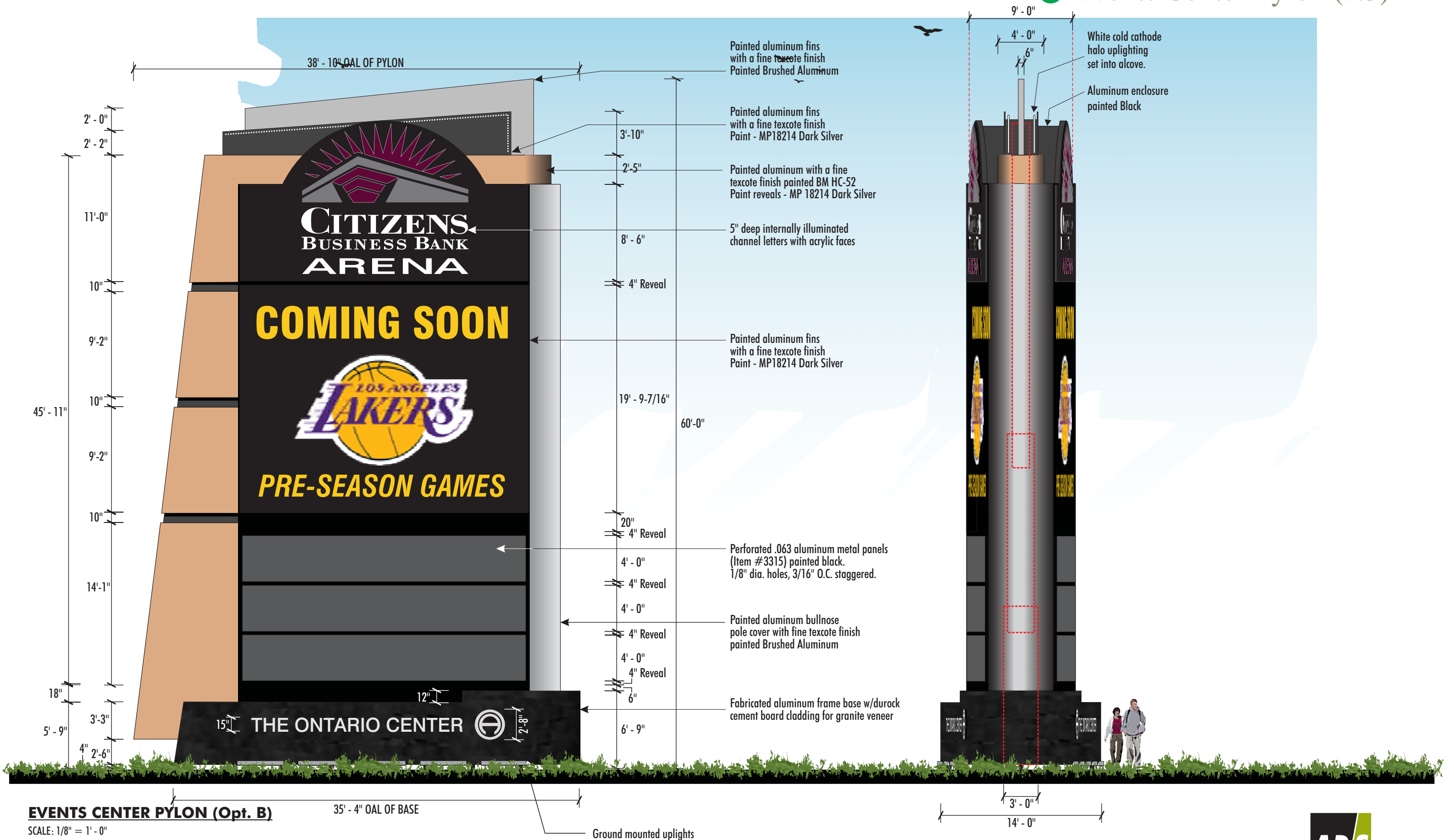
TENANT PYLON

SCALE: 1/8" = 1' - 0"

PIEMONTE  
AT ONTARIO CENTER



● Events Center Pylon (P.3)

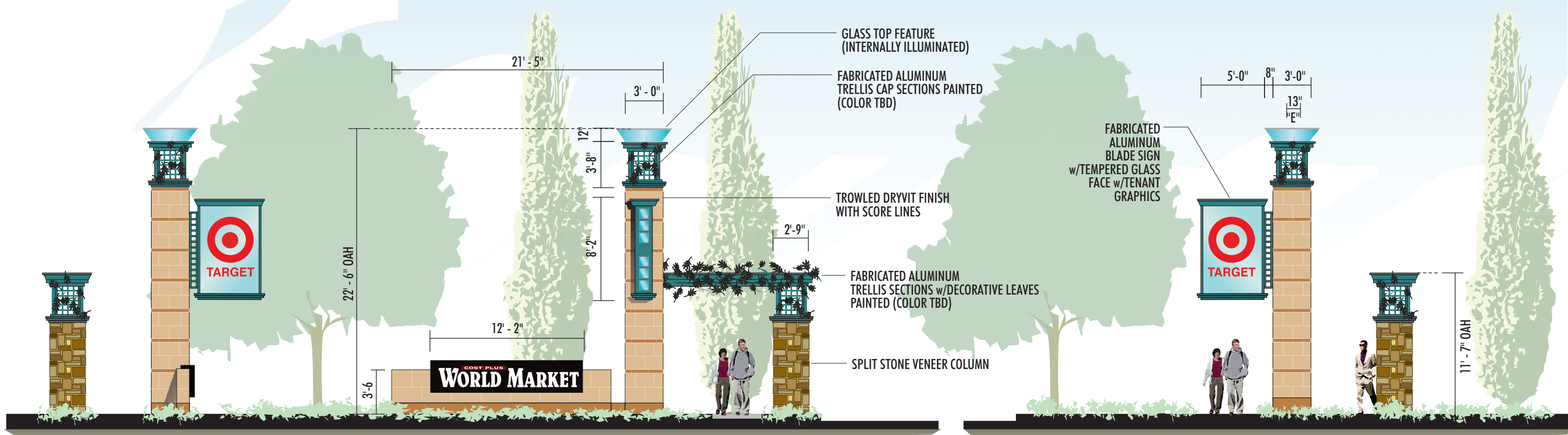
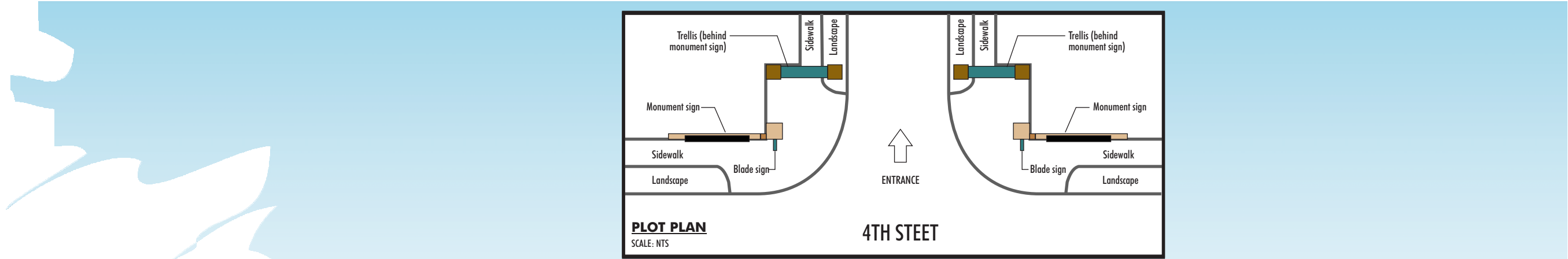


EVENTS CENTER PYLON (Opt. B)

SCALE: 1/8" = 1' - 0"

**PIEMONTE**  
AT ONTARIO CENTER

● Main Entry Signs (E.S.)  
(Target)

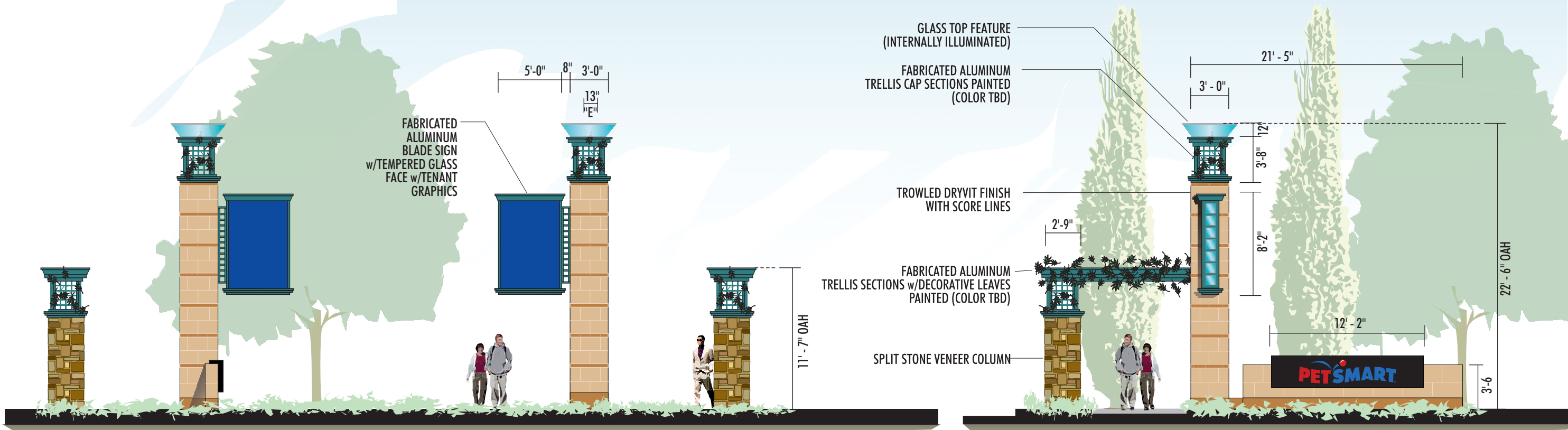
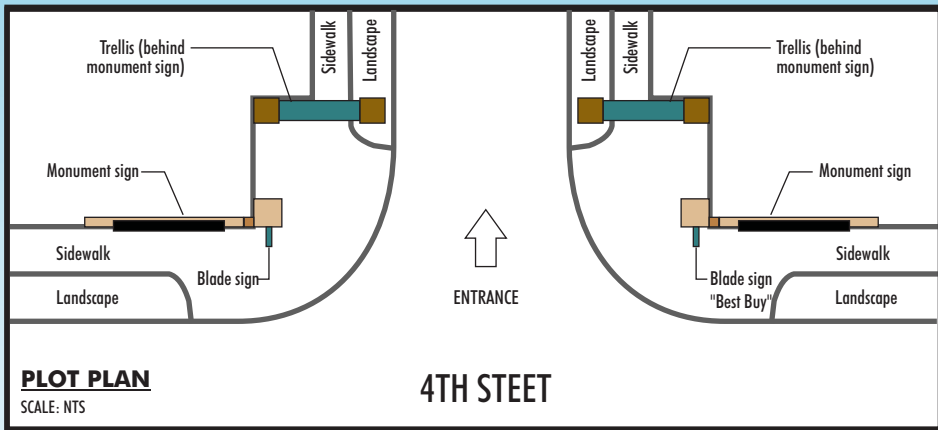


**MAIN ENTRY SIGNS (TARGET)**

SCALE: 1/8" = 1' - 0"



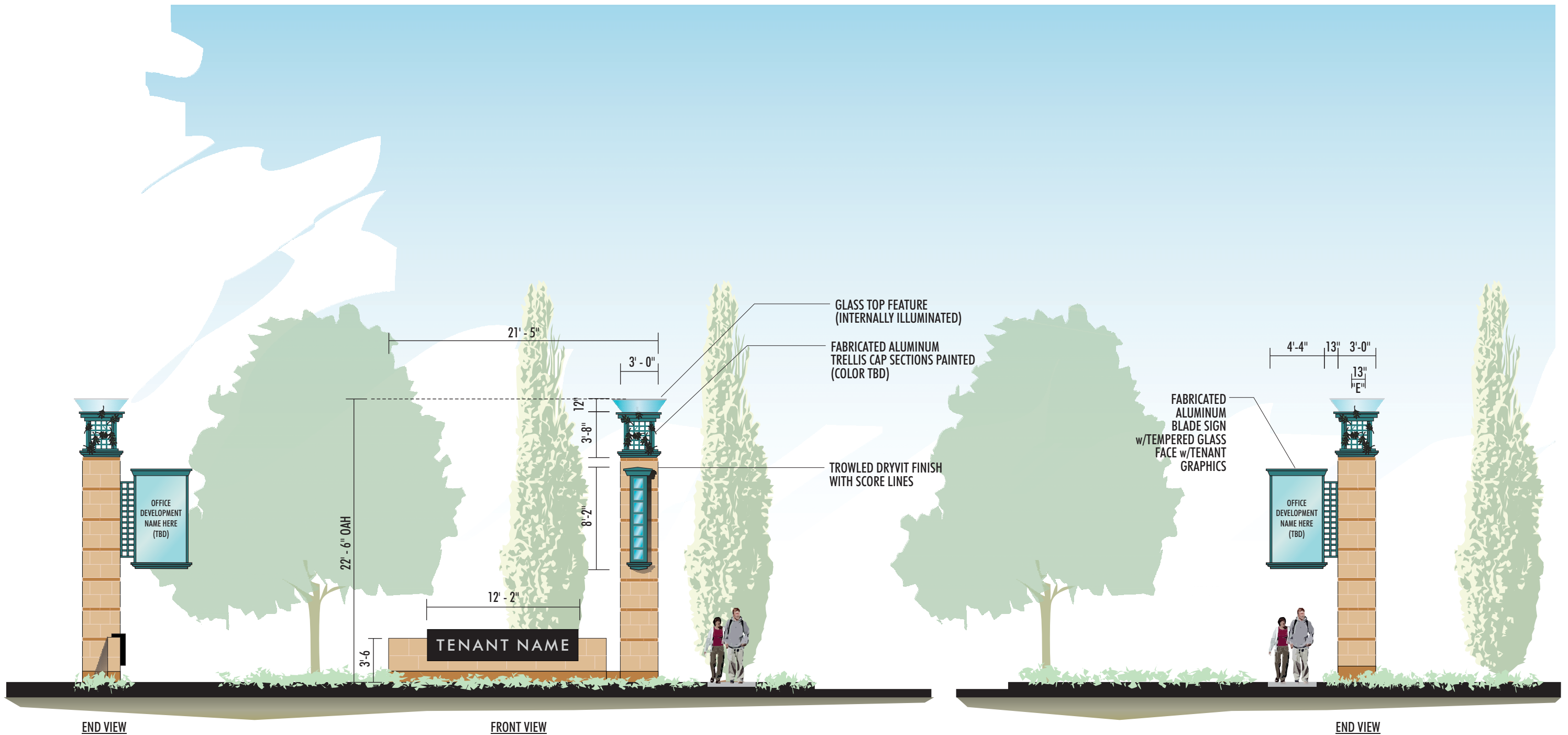
● Main Entry Signs (E.S.)



**MAIN ENTRY SIGNS**

SCALE: 1/8" = 1' - 0"

● Main Entry Signs (E.S.)  
(Office)



**MAIN ENTRY SIGNS (OFFICE)**

SCALE: 1/8" = 1' - 0"

● Tertiary Signs (T.S.)  
(Arbors / Column)



**TERTIARY SIGNS**  
SCALE: 1/8" = 1' - 0"

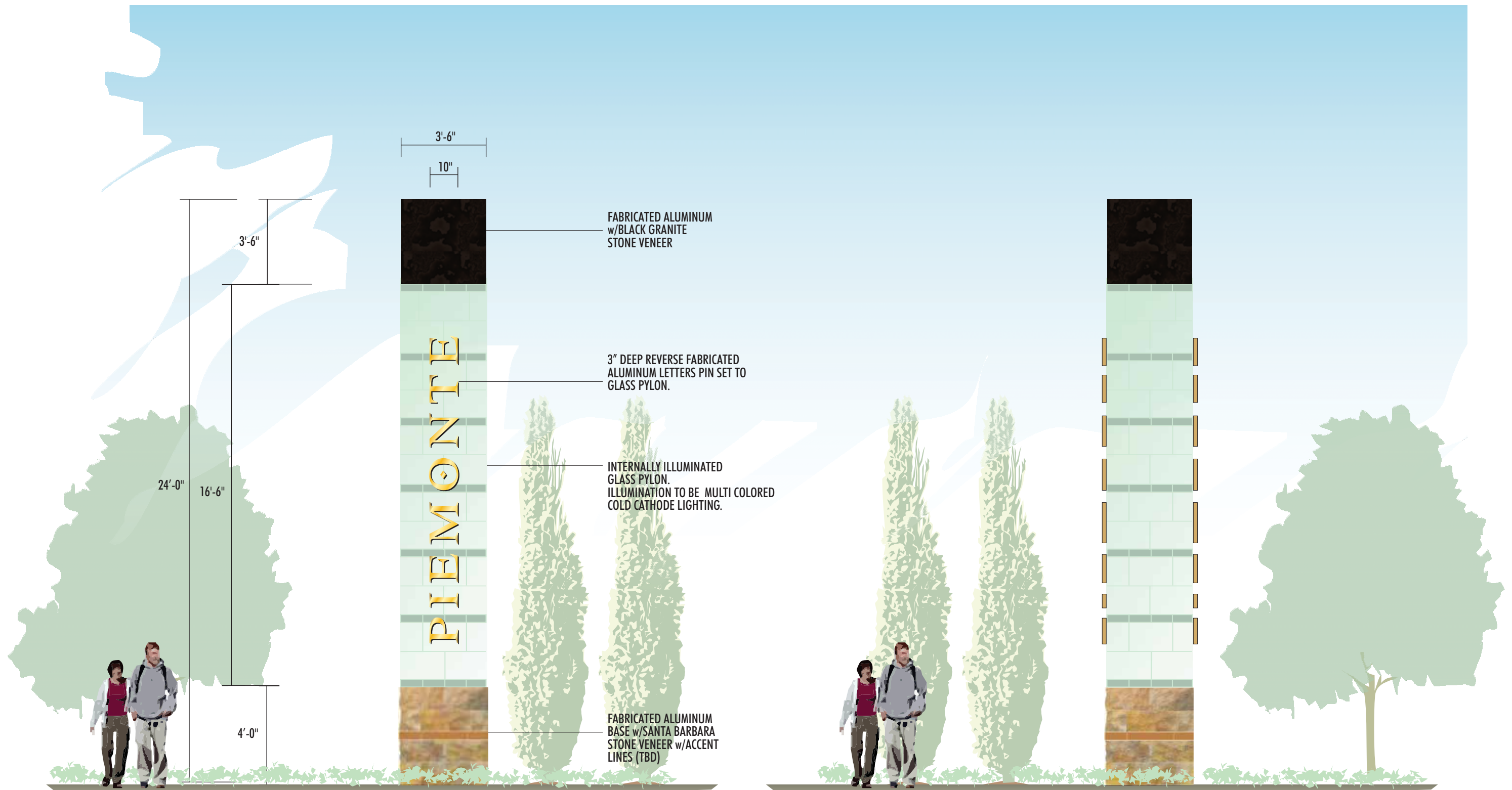
END VIEW

FRONT VIEW

FABRICATED ALUMINUM  
TRELLIS CAP SECTIONS PAINTED  
(COLOR TBD)

FABRICATED ALUMINUM COLUMN  
WITH SPLIT STONE VENEER (TO MATCH  
PROJECT)

● Center I.D. Pylon (C.I.D.)  
at 4th Street



**CENTER I.D. PYLON**

SCALE: 1/4" = 1'-0"

**PIEMONTE**  
AT ONTARIO CENTER

FRONT VIEW

END VIEW



● Center I.D. Pylon (C.I.D.)  
at 4th Street



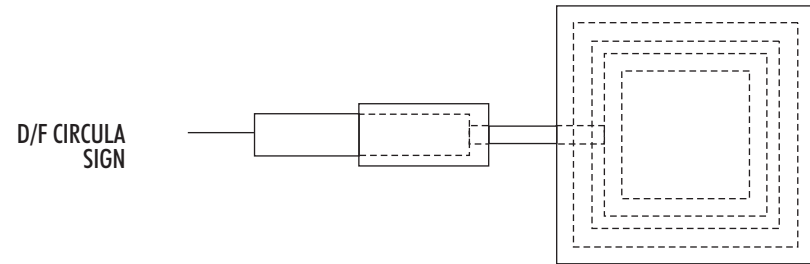
● Tenant ID Signs (T.I.D.)  
at 4th Street



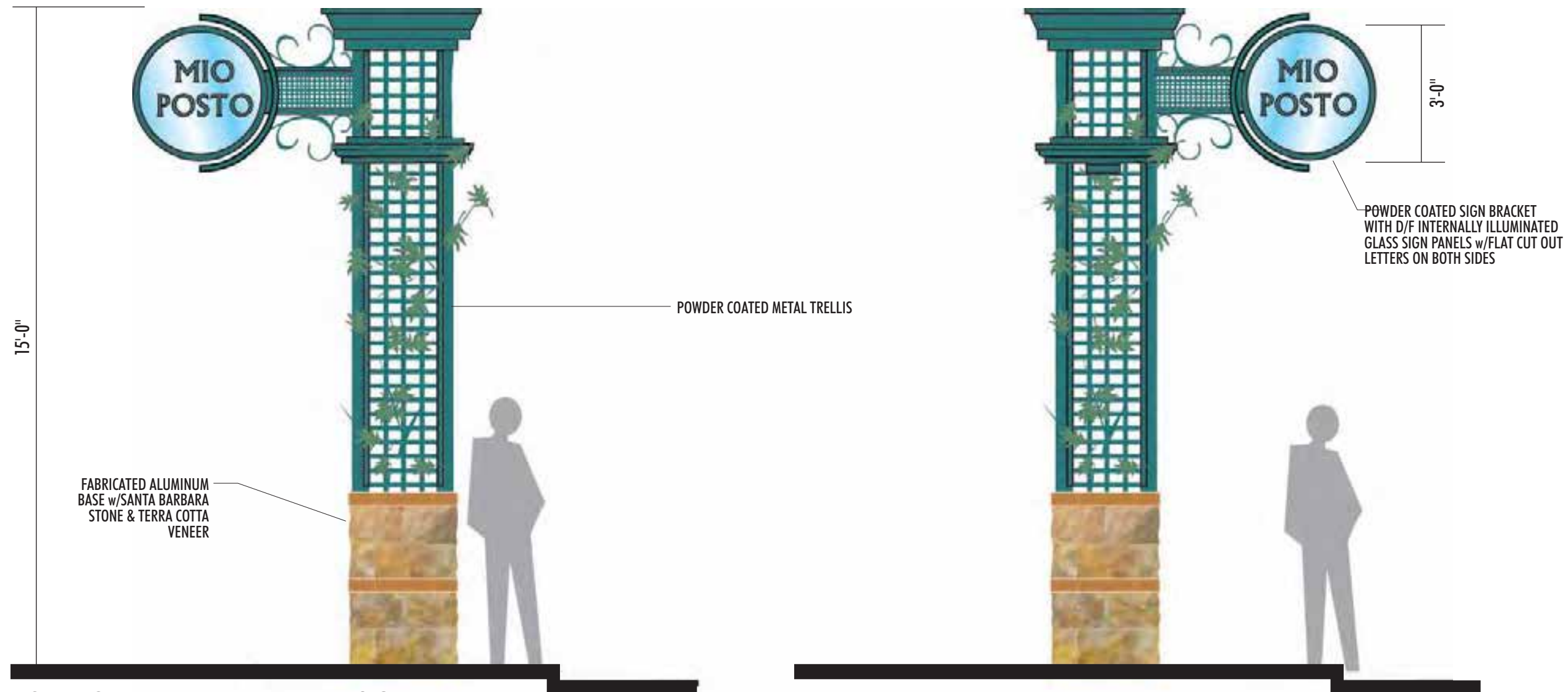
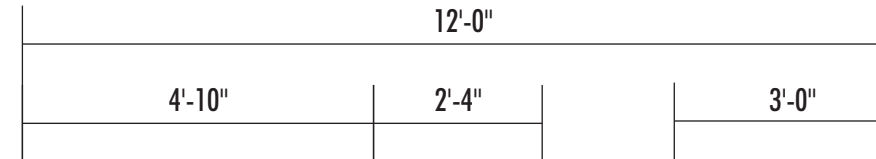
Scale: 1/2" = 1' - 0"

Illumination of signage to be either internally illuminated  
or externally illuminated with uplights (to be determined)

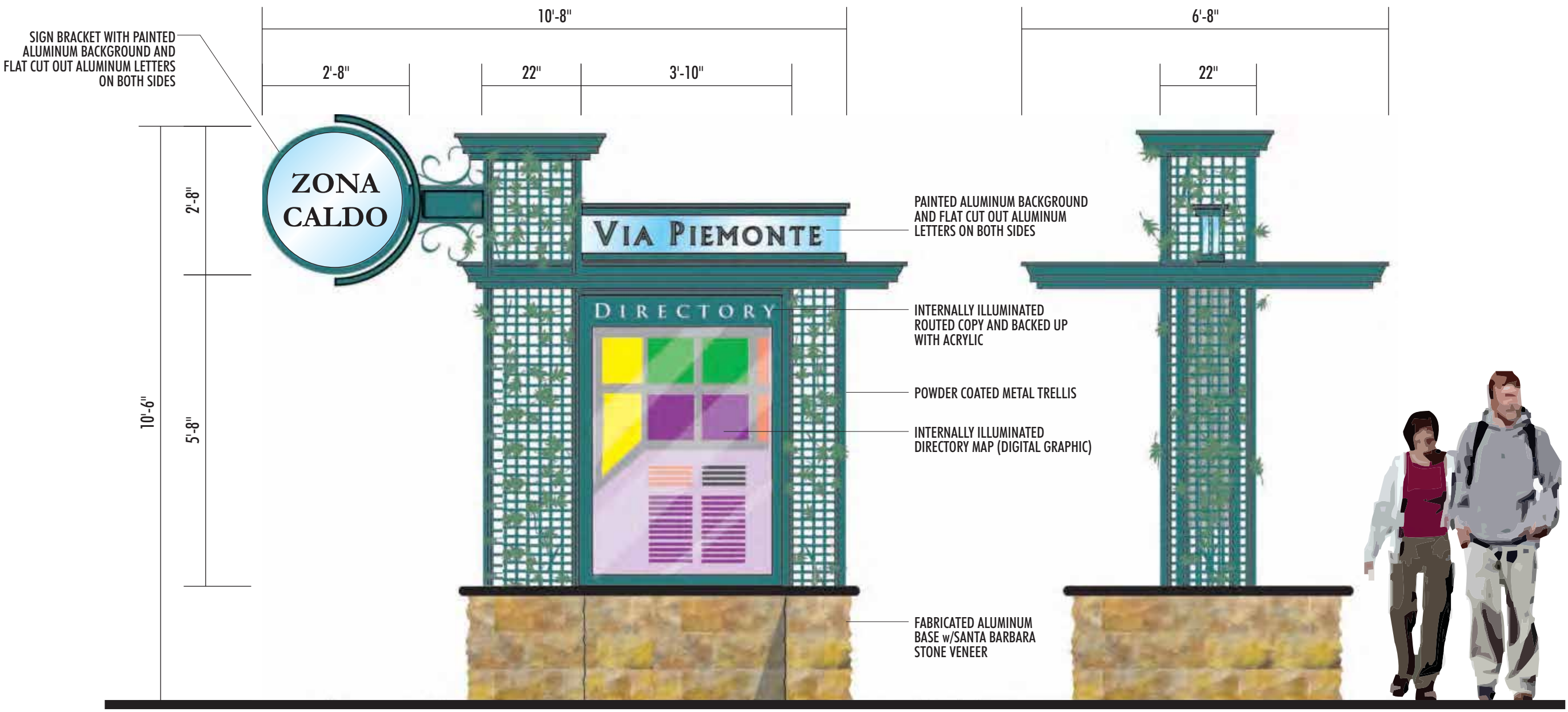
● Downtown Entry & Tenant ID Signs (D.T.)



**PLAN VIEW**  
SCALE: 3/8" = 1' - 0"



**DOWNTOWN ENTRY & TENANT ID SIGN**  
SCALE: 3/8" = 1' - 0"



**PEDESTRIAN DIRECTORY**

SCALE: 1/2" = 1' - 0"

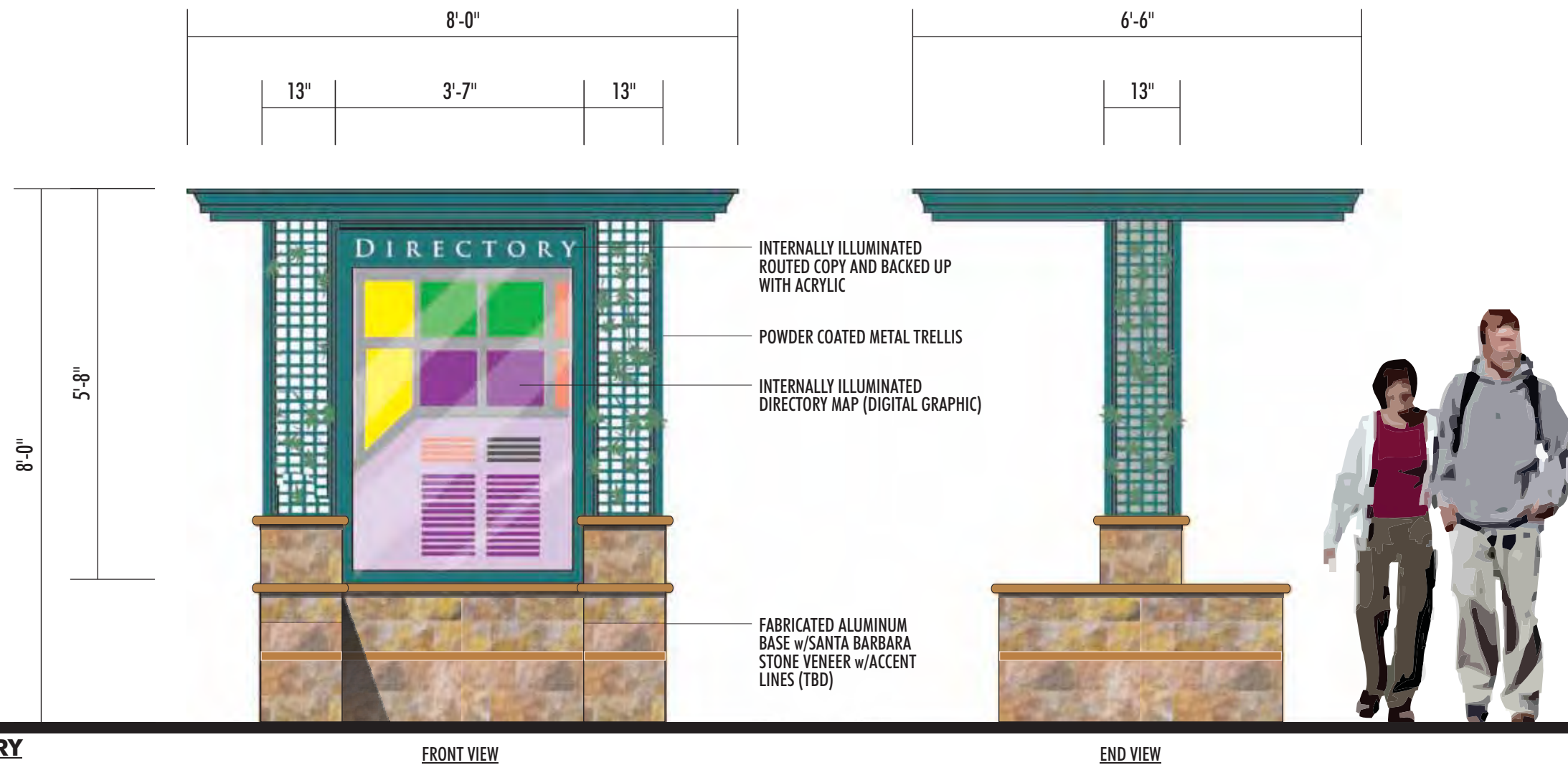
FRONT VIEW

END VIEW





● Pedestrian Directory (PD.2-PD.3)



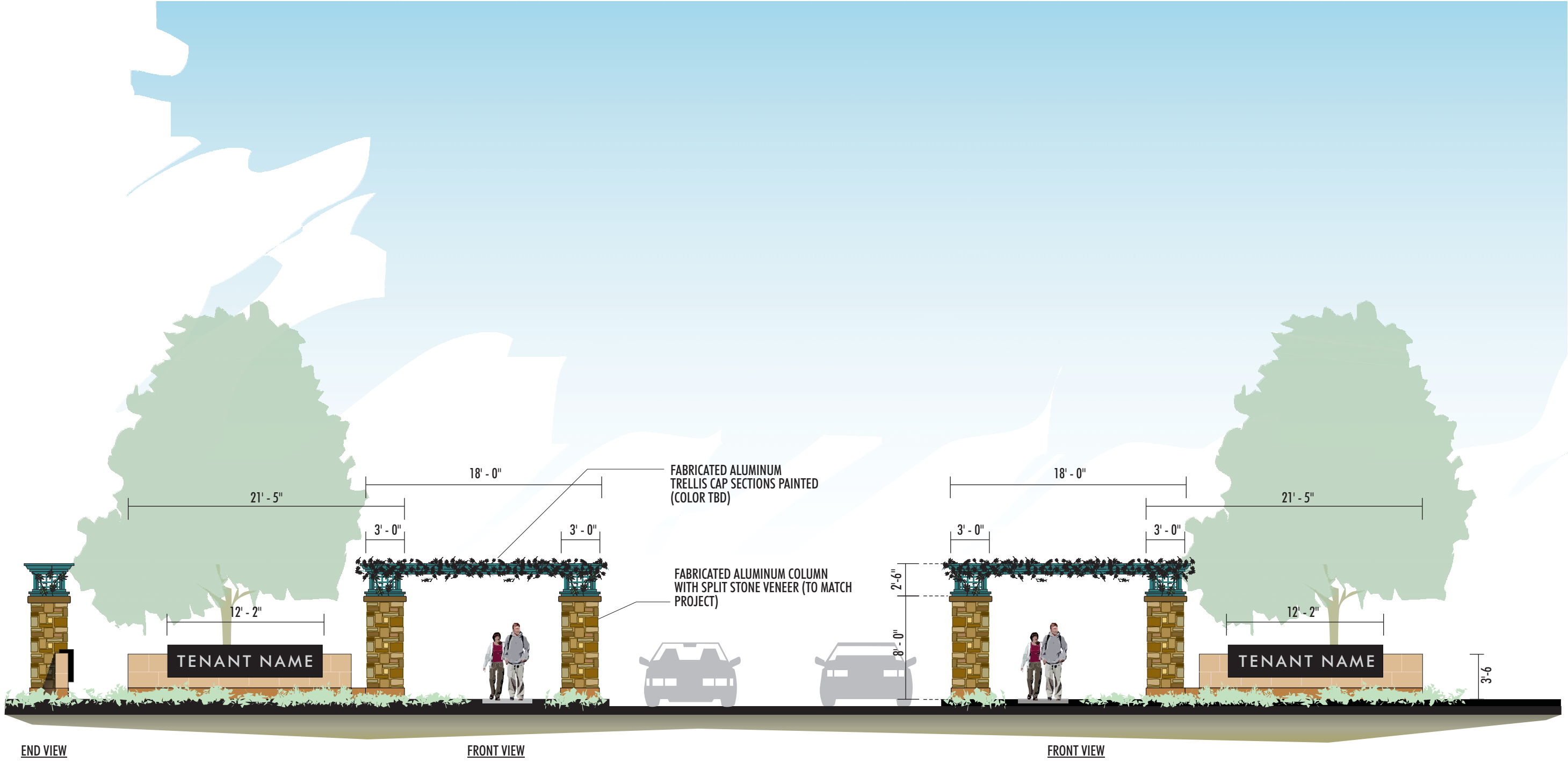
**PEDESTRIAN DIRECTORY**

SCALE: 1/2" = 1' - 0"

FRONT VIEW

END VIEW

▲ Primary Entrance (P.E.)  
(Arbor Sign)

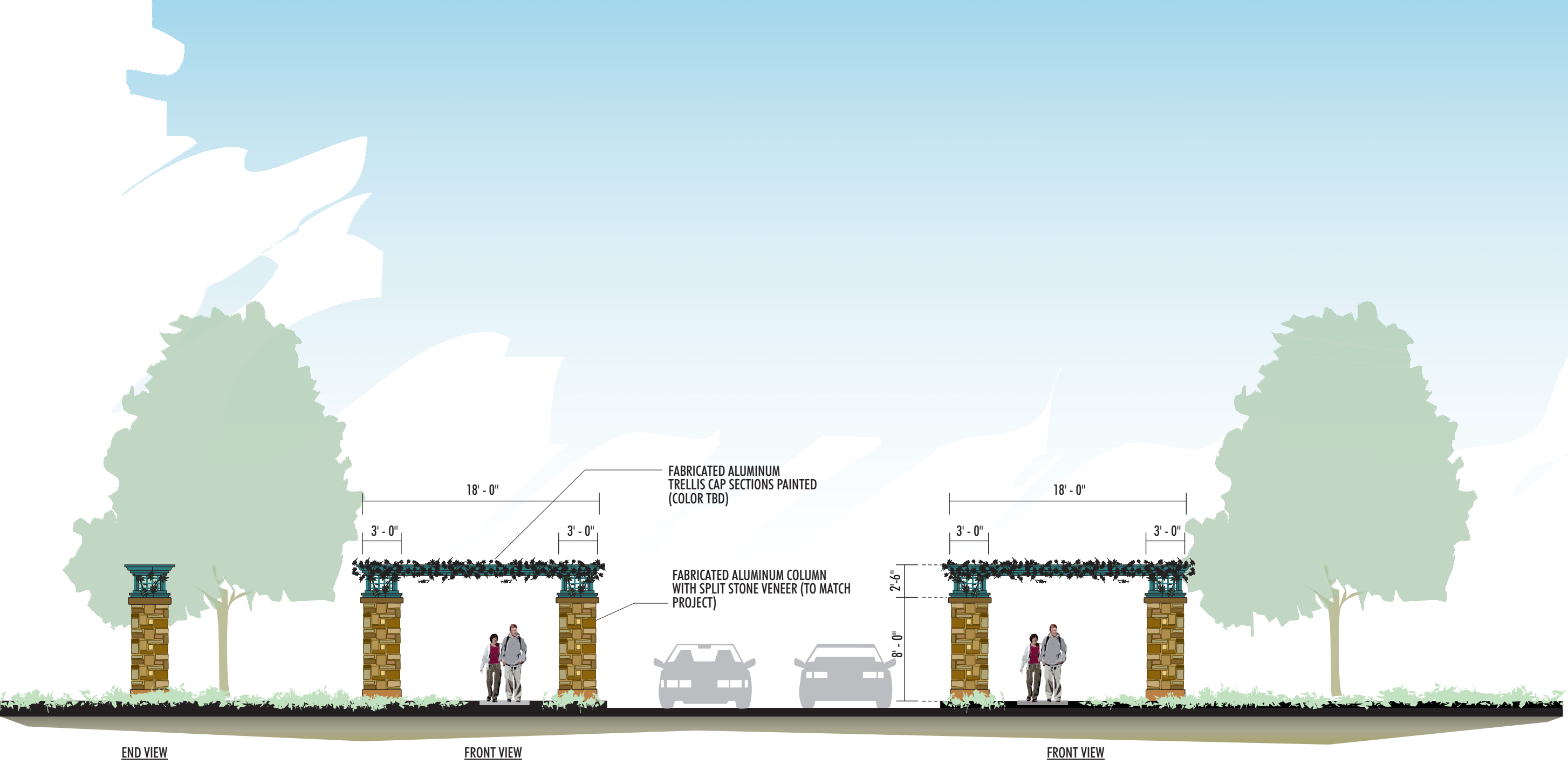


**END VIEW**  
**PRIMARY ENTRANCE**  
SCALE: 1/8" = 1'-0"

**FRONT VIEW**

**FRONT VIEW**

● Secondary Entrance (S.E.)  
(Arbor Sign)



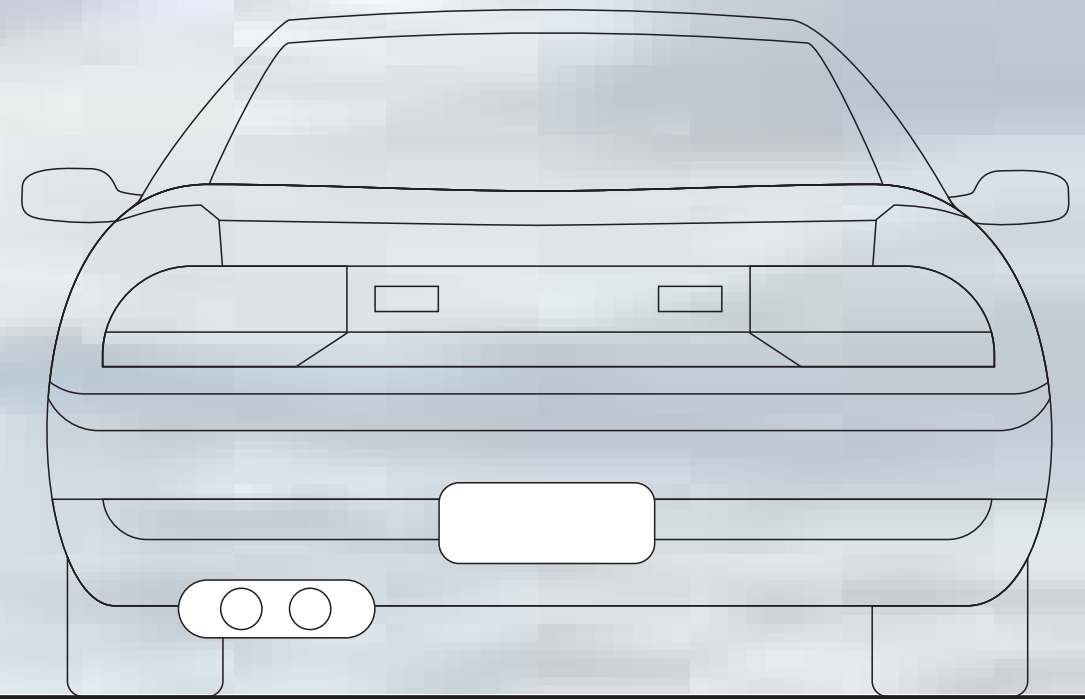
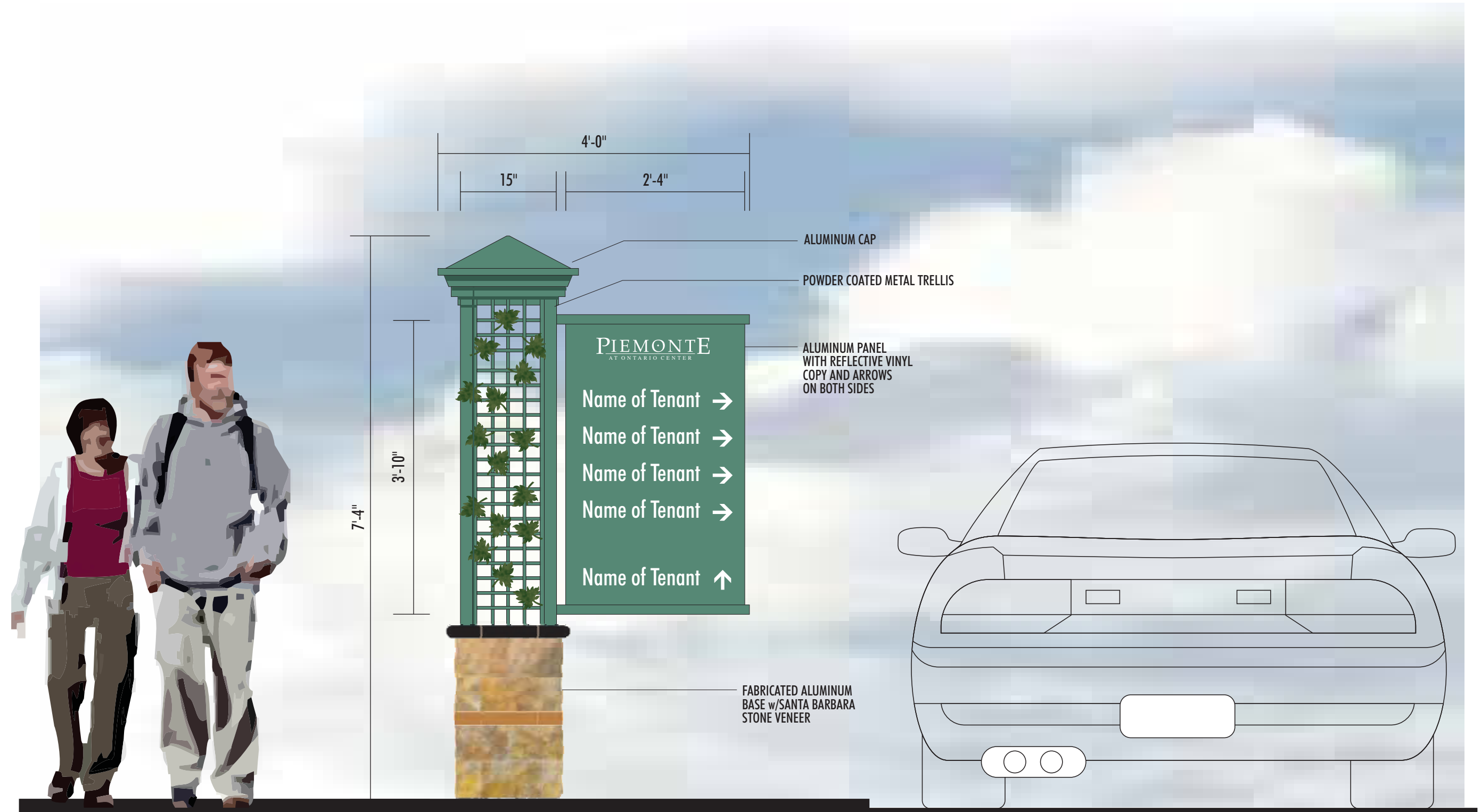
END VIEW

FRONT VIEW

FRONT VIEW

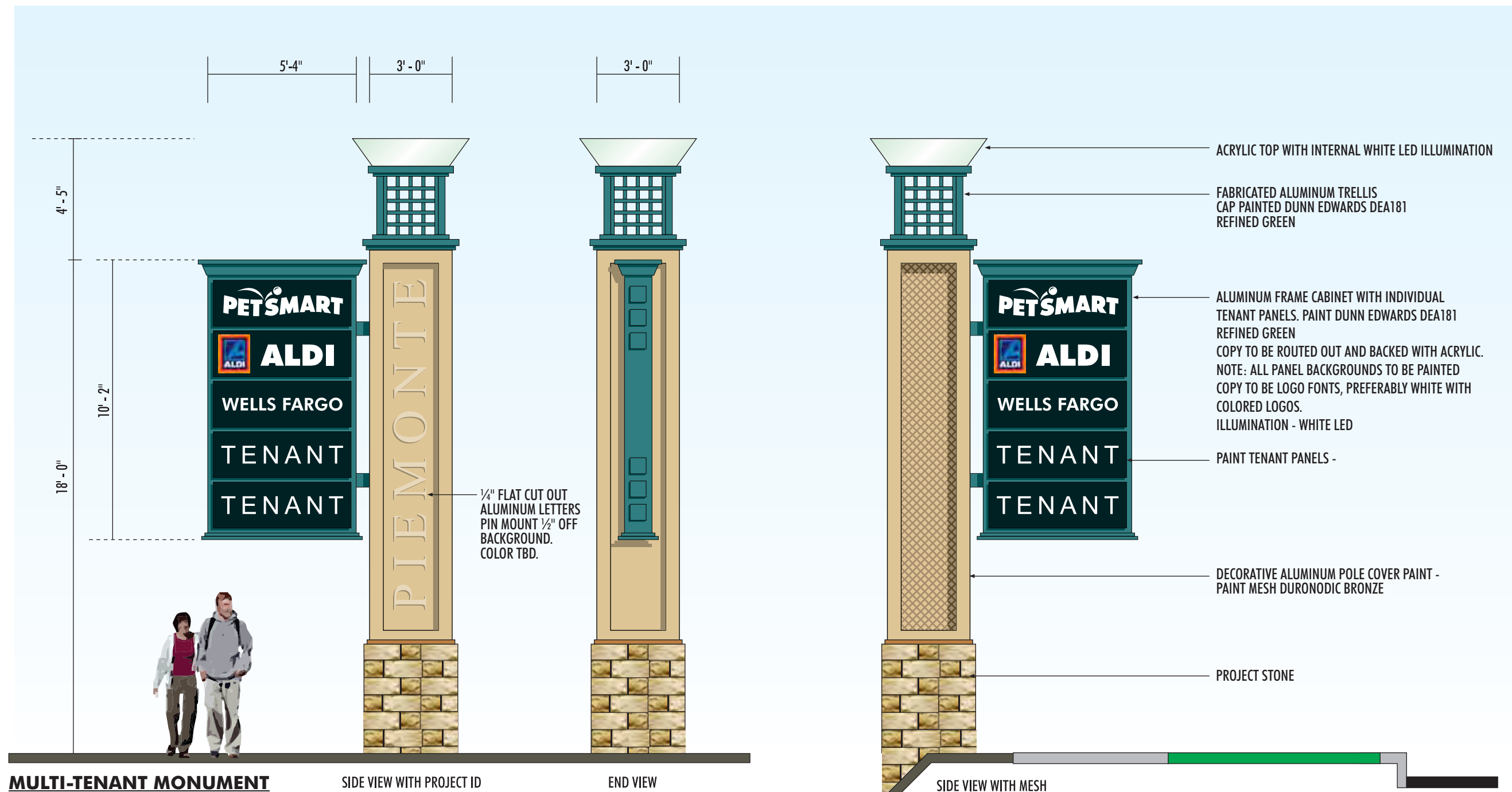
**PRIMARY ENTRANCE**

SCALE: 1/8" = 1'-0"



**AUTO DIRECTORY**  
SCALE: 3/4" = 1' - 0"

▲ Multi-Tenant Monument (M.T.M.)



POSSIBLE CONDITION  
FOR MONUMENT 2,  
AS OF DEC. 14, 2015

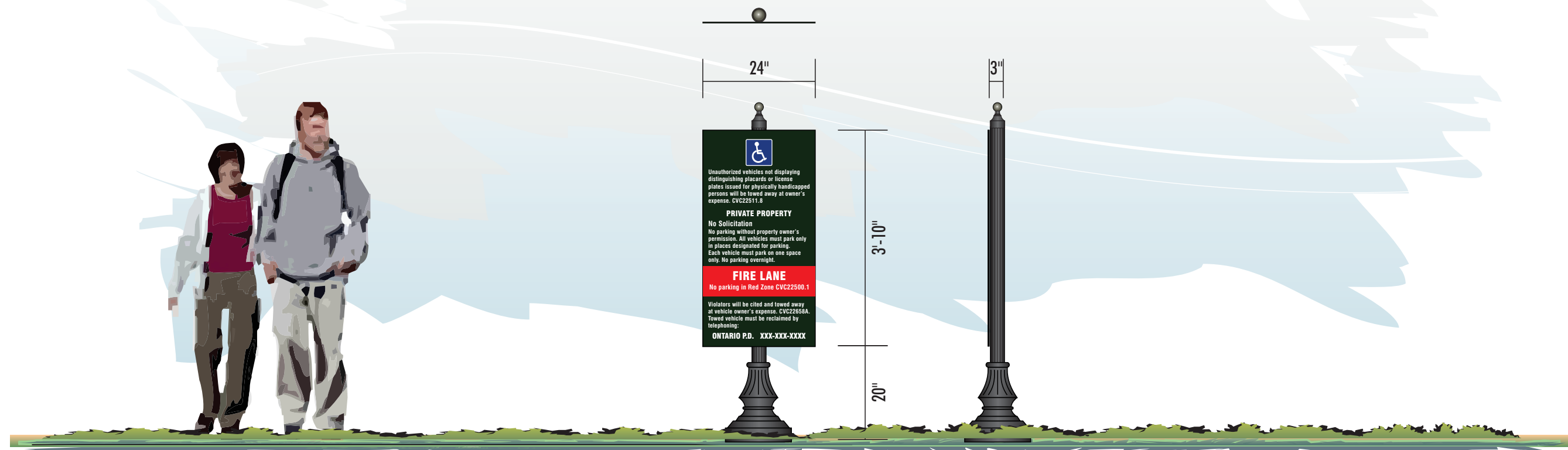
FUTURE COSTING WILL  
REFLECT CONDITION CHANGE

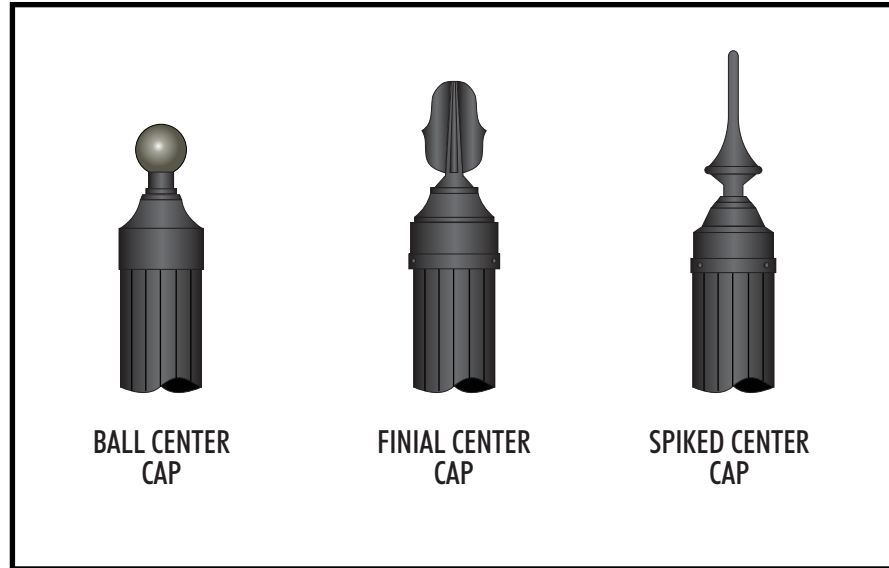
▲ Multi-Tenant Monument (M.T.M.)



## SPECIFICATIONS:

- 3" SQ. POST PAINT COLOR TO BE DETERMINED.
- FACE TO BE ¼" ALUMINUM PAINTED WHITE.
- COPY TO BE BLACK (220-12) VINYL.
- "HANDICAP" LOGO TO BE REFLECTIVE LIGHT BLUE (280-76) WITH WHITE SHOW THRU.
- "FIRE LANE" TO BE REFLECTIVE RED (280-72) VINYL WITH WHITE SHOW THRU COPY.





**SPECIFICATIONS:**

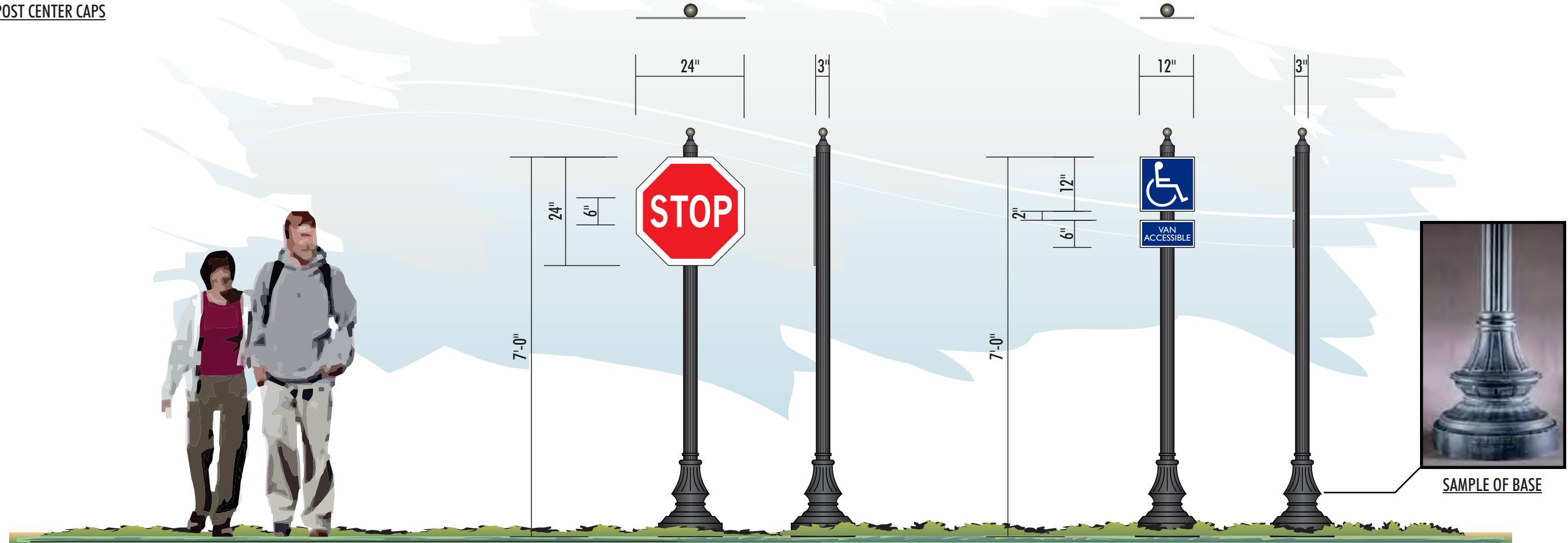
- 3" DIA. STRAIGHT FLUTED POST PAINT COLOR TO BE DETERMINED WITH DECORATIVE POST CENTER CAP (SEE "OPTIONAL POST CENTER CAPS")
- BASE - STERNBERG LIGHTING MODEL 3600 WILLIAMSBURG SERIES
- FACE TO BE ¼" ALUMINUM PAINTED WHITE WITH RED REFLECTIVE (280-72) VINYL OVERLAY AND WHITE REFLECTIVE (280-10) VINYL COPY.

**SPECIFICATIONS:**

- 3" DIA. STRAIGHT FLUTED POST PAINT COLOR TO BE DETERMINED WITH DECORATIVE POST CENTER CAP (SEE "OPTIONAL POST CENTER CAPS")
- BASE - STERNBERG LIGHTING MODEL 3600 WILLIAMSBURG SERIES
- FACE TO BE ¼" ALUMINUM PAINTED WHITE WITH REFLECTIVE LIGHT BLUE (280-76) WITH WHITE SHOW THRU AND WHITE BORDER.
- COPY TO BE WHITE SHOW THRU.

**OPTIONAL POST CENTER CAPS**

SCALE: NTS



SCALE: 1/2" = 1'-0"



**SPECIFICATIONS:**

- 1/2" THICK SINTRA NUMBERS.
- PAINT COLOR TO MATCH PROJECT (CONTRASTING TO BUILDING FASCIA COLOR).
- NUMBERS TO BE STUD MOUNTED TO BUILDING FASCIA.



# Window Graphics and Rear Entry Signs

**SPECIFICATIONS:**

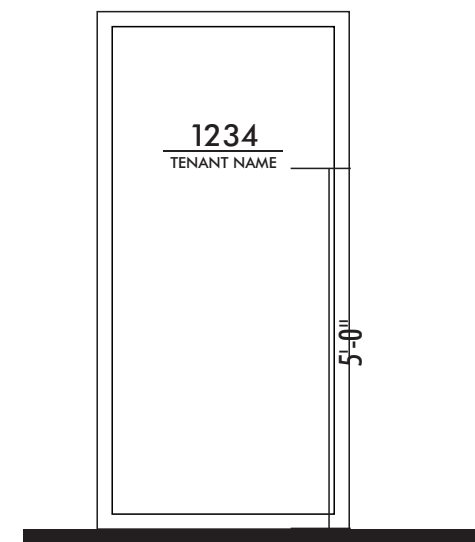
- 6" HIGH WHITE VINYL NUMBERS/LETTERS ON ENTRY GLASS ABOVE DOOR.
- "STORE HOURS" TO BE WHITE VINYL ON WINDOW NEXT TO DOOR.
- ALL VINYL TO BE APPLIED SECOND SURFACE.
- 2.5 SQ. FT. MAXIMUM SIGN AREA.



TYPICAL FRONT ENTRY ELEVATION  
SCALE: 3/8" = 1'-0"

**SPECIFICATIONS:**

- 4" AND 2" HIGH VINYL NUMBERS/LETTERS ON REAR ENTRY DOOR.
- COLOR TO BE IN CONTRASTING COLOR TO DOOR.
- 2.5 SQ. FT. MAXIMUM SIGN AREA.



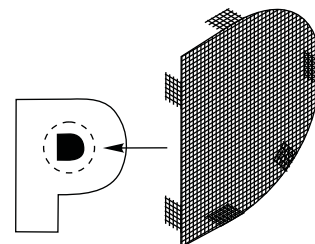
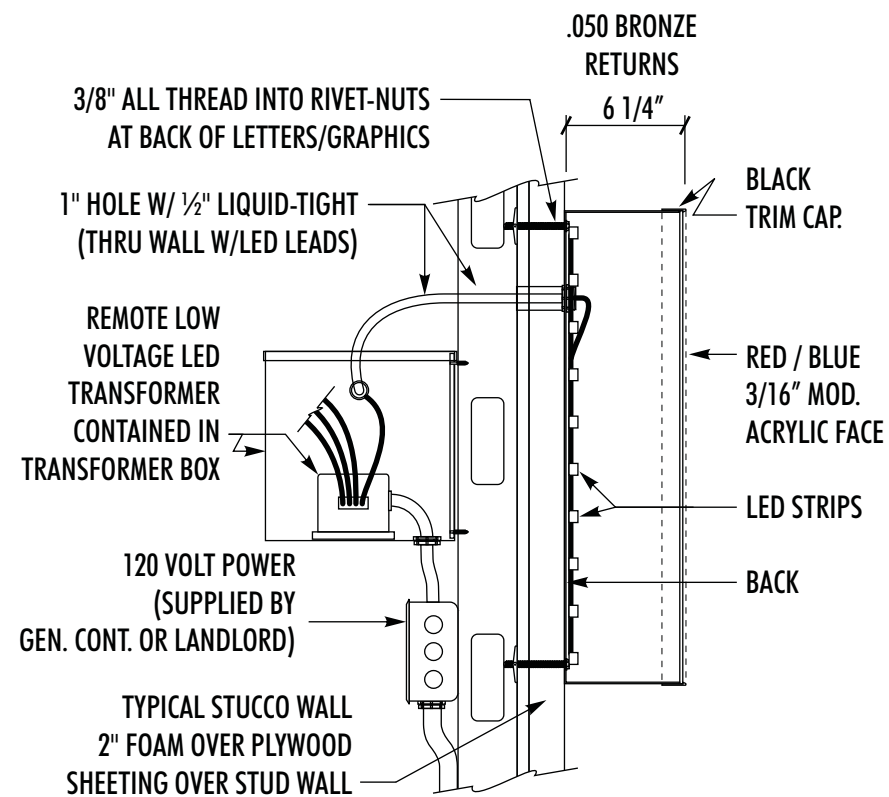
TYPICAL REAR ENTRY ELEVATION  
SCALE: 3/8" = 1'-0"

# Petsmart Prototypical Elevation and Signage



## TYPICAL FRONT ELEVATION

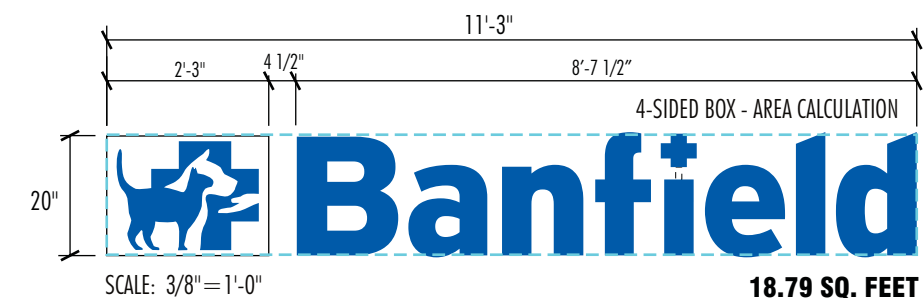
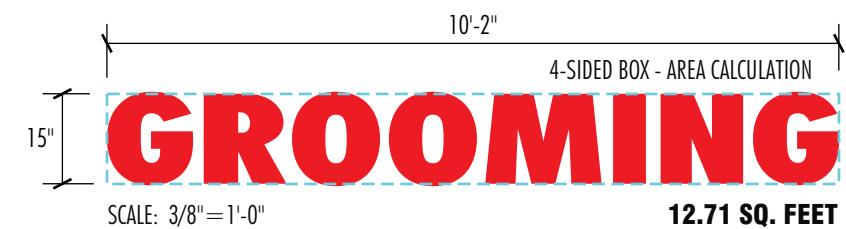
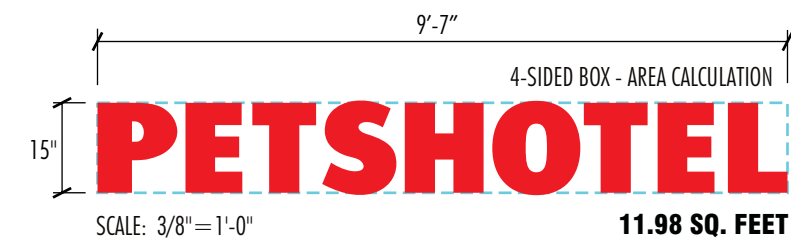
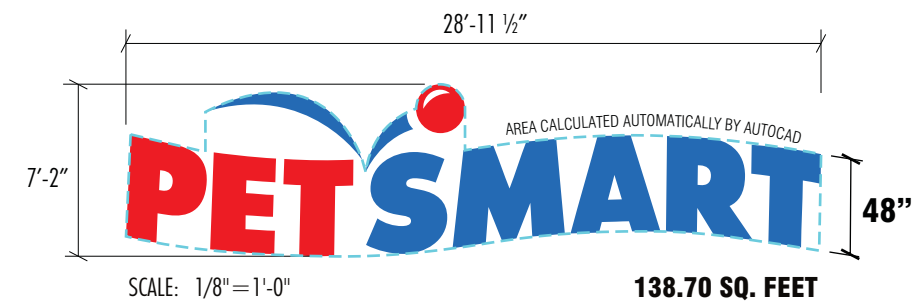
SCALE: 3/32" = 1'-0"



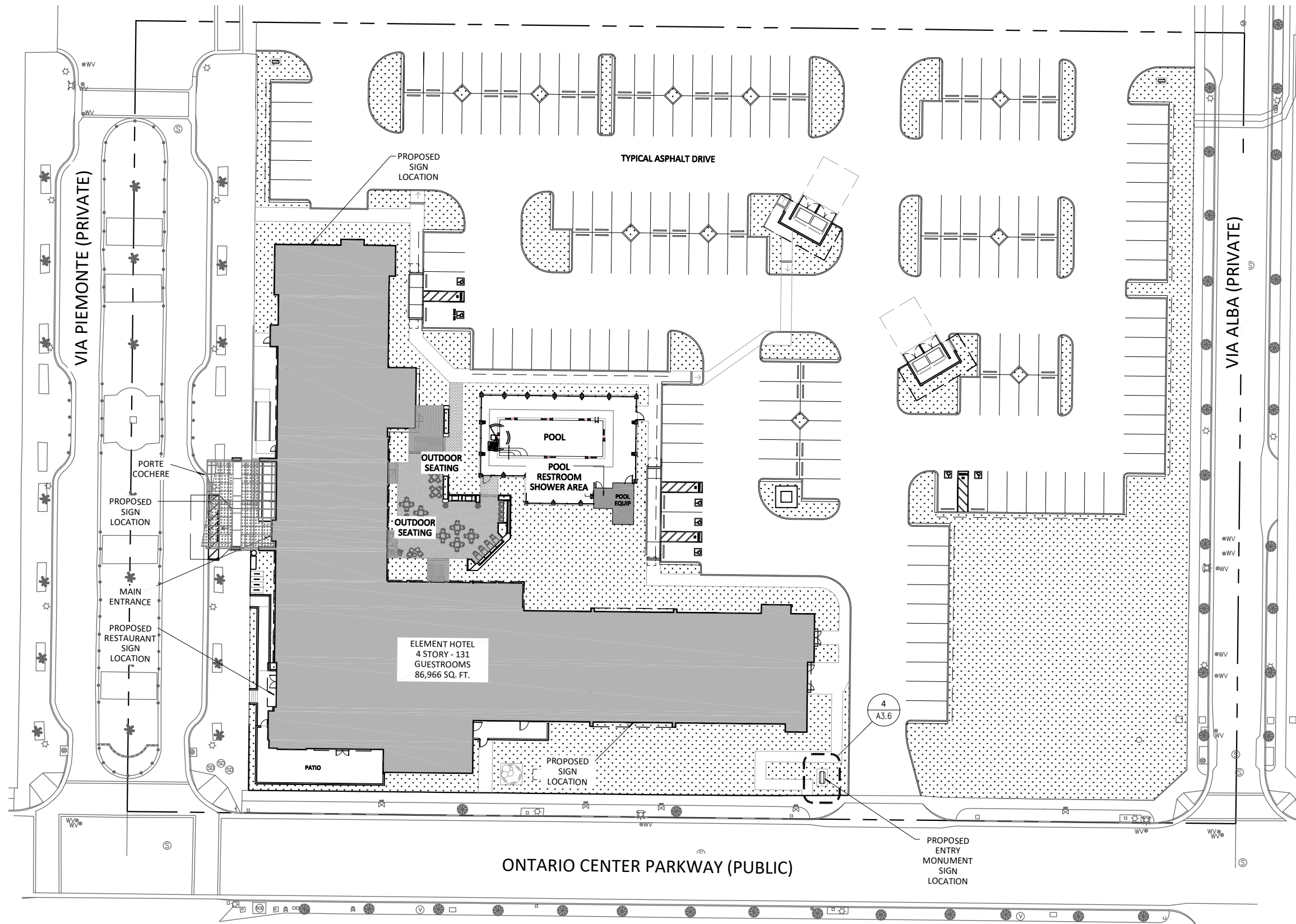
BIRD SCREEN DETAIL - MFR. BIRD SCREEN IN LETTER OPENINGS AS SHOWN - SCREENS ARE FABRICATED FROM 1/4" ALUMINUM HARDWARE CLOTH - INSET 2" FROM LETTER FACE AND ATTACHED WITH POP RIVETS AND FLAT RIVET WASHERS -

## "PETSMART" CHANNEL LETTERS/GRAPHICS

SCALE: N.T.S.



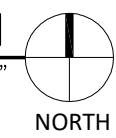
# ELEMENT HOTEL by Westin



PROJECT FILE NO:  
 PDEV16-050  
 PCUP16-023  
 PSPG16-001  
 PSGP17-003

## ARCHITECTURAL SITE PLAN

SCALE: 1" = 50'-0"



**pk**  
 ARCHITECTS  
 PK ARCHITECTS, PC  
 4515 S. MCLINTOCK DRIVE, #206  
 TEMPE, ARIZONA 85282  
 PHONE: (602) 283-1620  
 FAX: (602) 283-1621



element  
 BY WESTIN  
 Ontario  
 CALIFORNIA

REVISION:	DATE:	COMMENTS:

PROJECT NO:	15-309
PRINT DATE:	11-15-2016
DRAWN BY:	MP / SK
CHECKED BY:	SK / JP

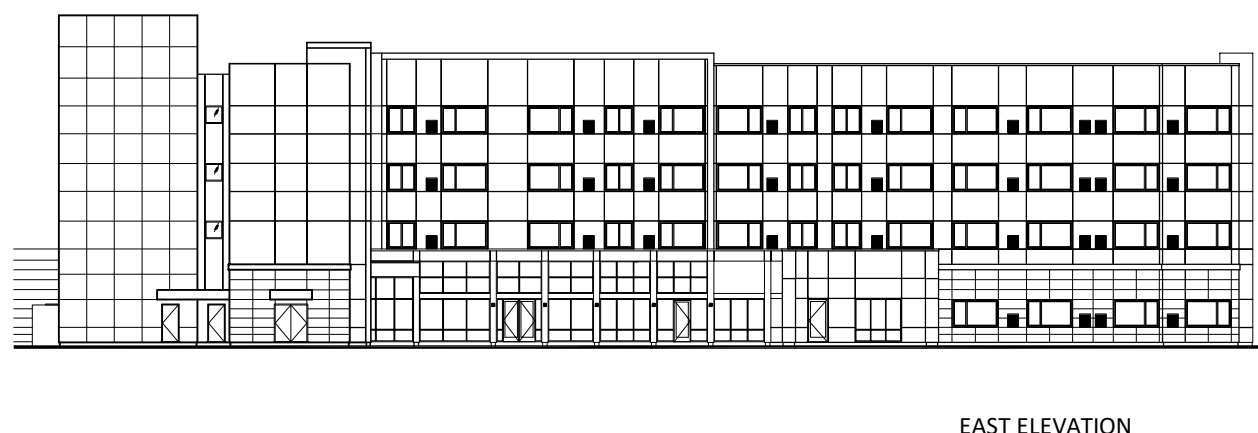
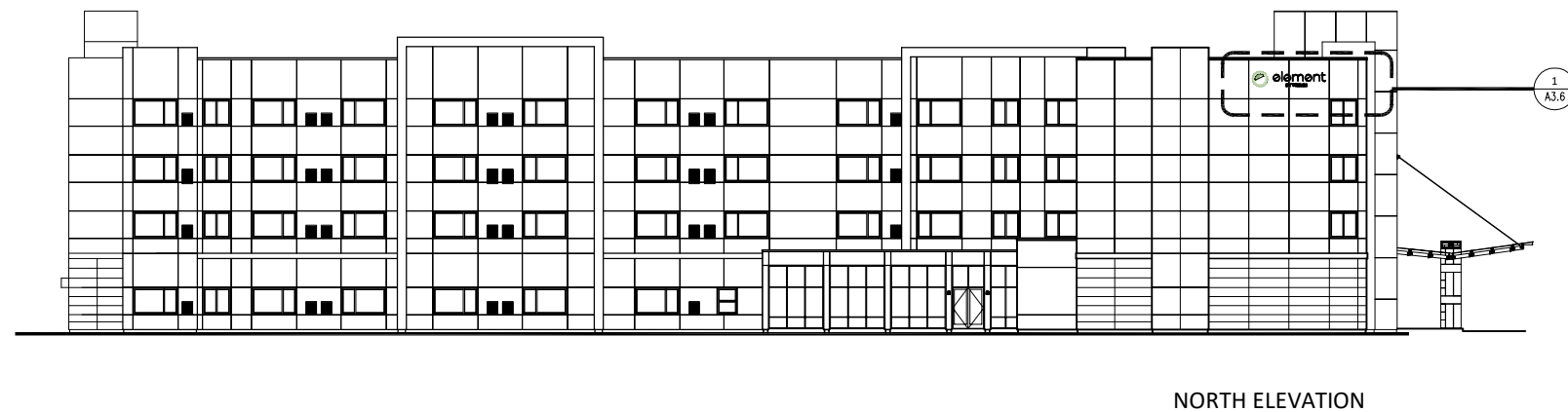
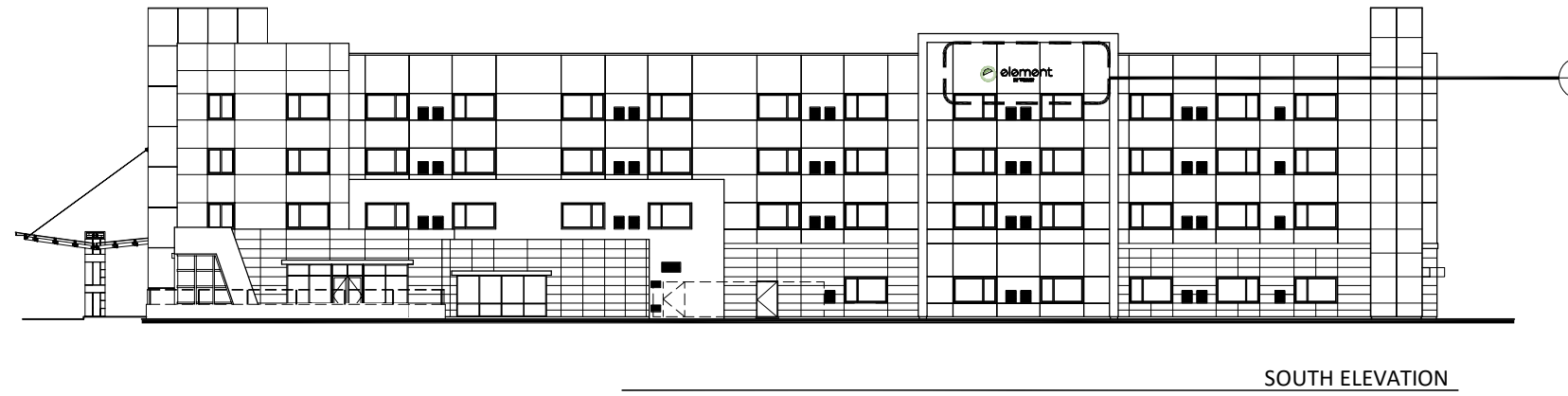
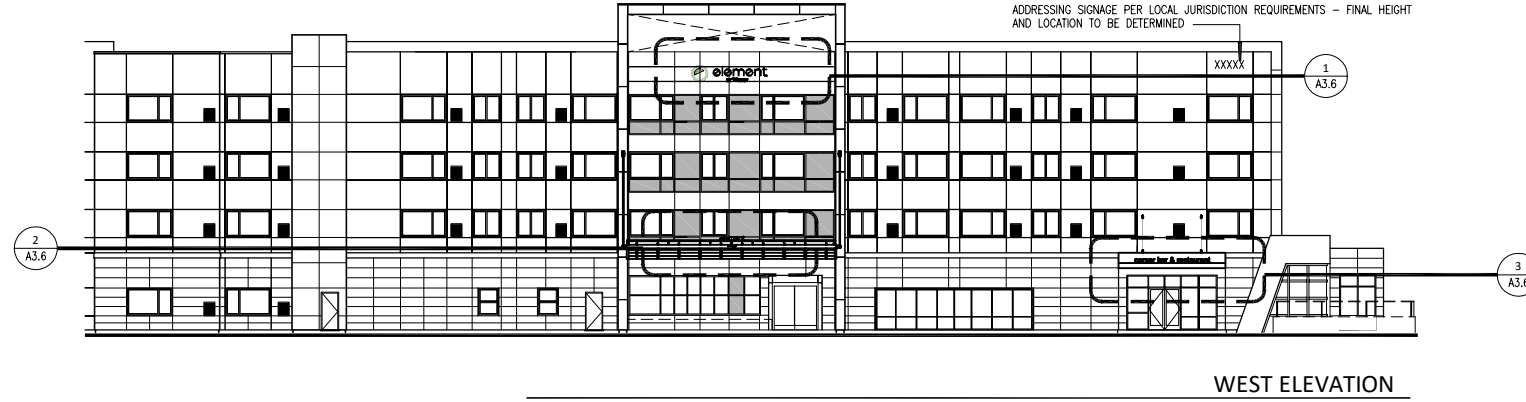
SHEET TITLE:  
**ARCHITECTURAL  
 SITE PLAN**

SHEET NUMBER:  
**A1.1**

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF PK ARCHITECTS, P.C. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE OF THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE WRITTEN PERMISSION OF PK ARCHITECTS, P.C. WRITTEN PERMISSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE NOTIFIED IN WRITING OF ANY VARIATIONS BE ADVISED THAT THIS SET OF PLANS HAS BEEN PREPARED FOR BIDDING PURPOSES ONLY. AT THIS TIME, THIS SET OF PLANS SHOULD BE CONSIDERED PRELIMINARY IN NATURE AND NOT FOR CONSTRUCTION. THIS SET OF PLANS SHALL NOT BE USED FOR FINAL BIDDING PURPOSES AND ANY BID SUBMITTED THAT HAS BEEN BASED ON THIS SET OF PLANS WILL CHANGE DUE TO PLAN REVIEW COMMENTS BY THE VARIOUS AUTHORITIES HAVING JURISDICTION AS WELL AS INTERNAL REVIEWS. FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS, SHOULD IT APPEAR THAT THE WORK COVERED BY THE CONTRACT DOCUMENTS IS NOT SUFFICIENTLY DETAILED, EXPLAINED OR CONFLICTING INFORMATION EXISTS, THE CONTRACTOR SHALL NOTIFY PK ARCHITECTS, P.C. IN WRITING. PK ARCHITECTS, P.C. SHALL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS DUE TO THE CONTRACTOR'S FAILURE TO PROPERLY NOTIFY PK ARCHITECTS, P.C. PRIOR TO WORK BEING COMMENCED. SHOP DETAILS SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING.

# ELEMENT HOTEL by Westin

ADDRESSING SIGNAGE PER LOCAL JURISDICTION REQUIREMENTS - FINAL HEIGHT AND LOCATION TO BE DETERMINED

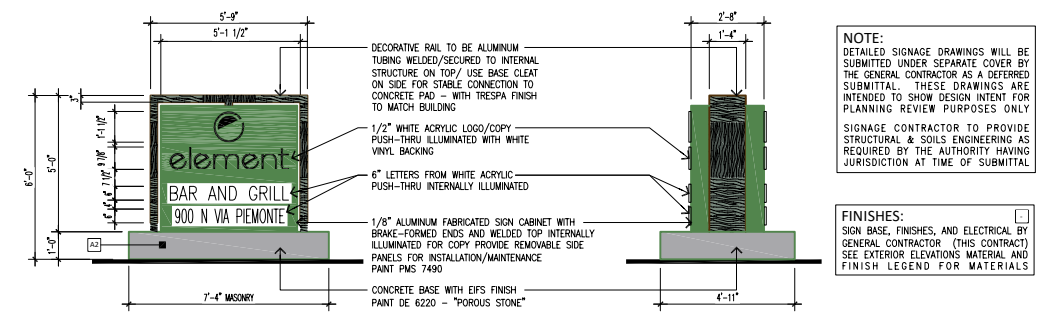


## MATERIAL & COLOR LEGEND:

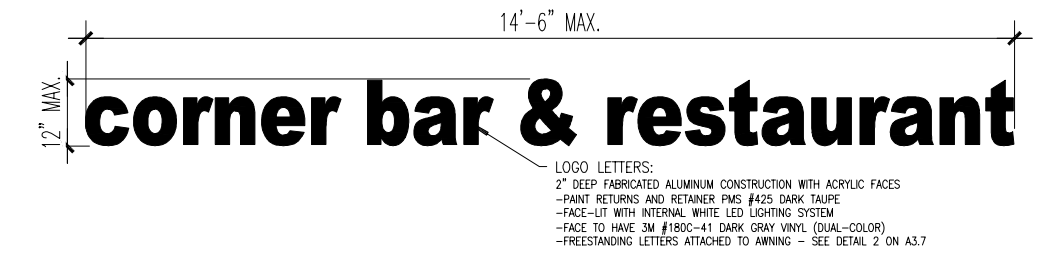
E.I.F.S. COLORS:		VENTILATED COMPOSITE FACADE COLORS:	
A1	DE 6226 (DUNN EDWARDS) - "FOGGY DAY"	B1	PRODUCT: ALUMA-KOR MI-2002 COLOR: SILVER
A2	DE 6220 (DUNN EDWARDS) - "POROUS STONE"	B2	PRODUCT: ALUMA-KOR CC-003 COLOR: PATINA
A3	DE 6355 (DUNN EDWARDS) - "TARNISHED SILVER"	B3	PRODUCT: ALUMA-KOR MI-2117 COLOR: SILVER GREY
A4	DE 6356 (DUNN EDWARDS) - "SHEET METAL"	T	PRODUCT: TRESPA EXTERIOR NW025 COLOR: HESBANIA - MATT PRODUCT: TRESPA EXTERIOR NW23/MT COLOR: NORDIC BLACK

## GENERAL NOTES:

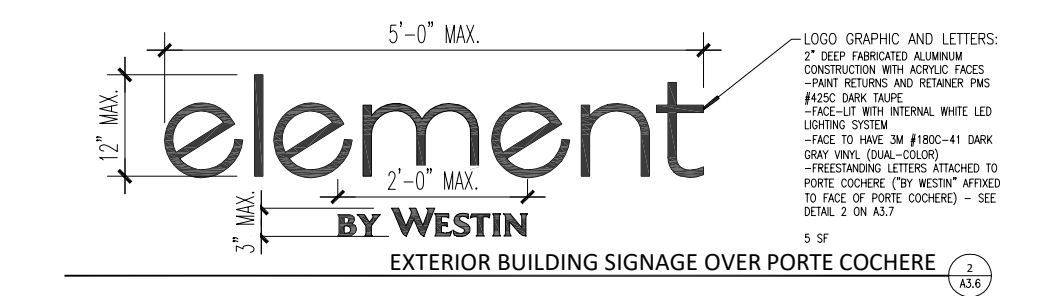
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- PROPOSED HOTEL SIGNS ARE SHOWN FOR REFERENCE ONLY. ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE APPLICATION AND PERMIT.



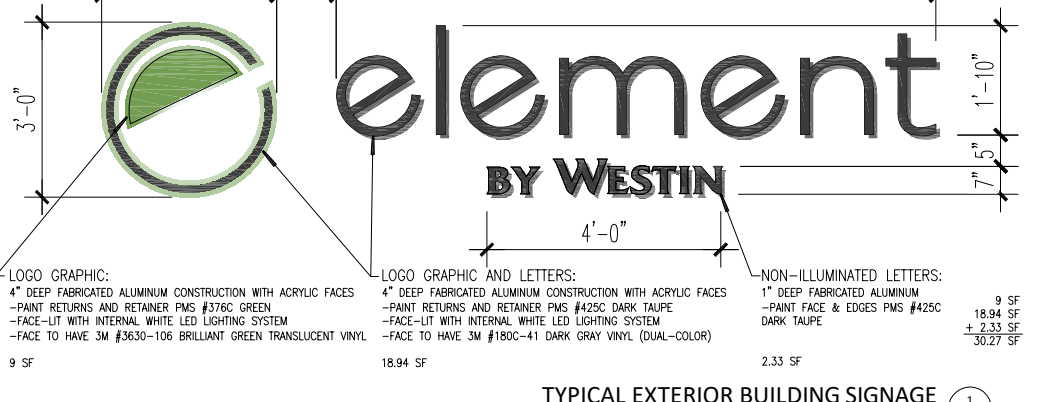
TYPICAL MONUMENT SIGN DETAIL 4 A3.6



RESTAURANT BUILDING SIGNAGE 3 A3.6



EXTERIOR BUILDING SIGNAGE OVER PORTE COCHERE 2 A3.6



TYPICAL EXTERIOR BUILDING SIGNAGE 1 A3.6

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REVISION: DATE: COMMENTS:

PROJECT NO: 15-309  
PRINT DATE: 11-15-2016  
DRAWN BY: MP / SK  
CHECKED BY: SK / JP

SHEET TITLE:  
CONCEPTUAL SIGN LOCATIONS SIZES & TYPE

SHEET NUMBER:  
**A3.6**

PK ARCHITECTS, P.C.  
4515 S. MACLINTOCK DRIVE, #208  
TEMPE, ARIZONA 85282  
PHONE: (602) 283-1620  
FAX: (602) 283-1621

# ELEMENT HOTEL by Westin



WEST ELEVATION

## MATERIAL & COLOR LEGEND:

E.I.F.S. COLORS:

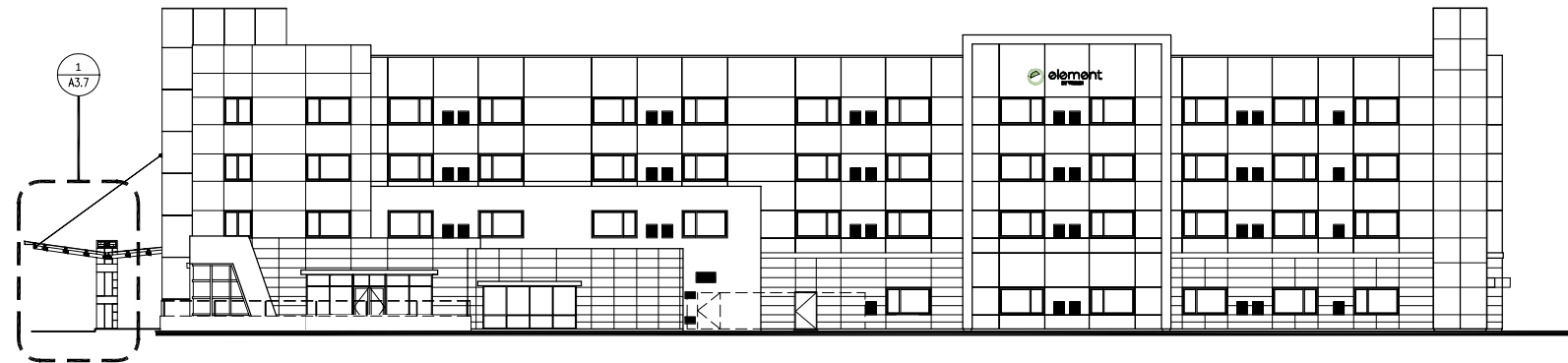
A1	DE 6226 (DUNN EDWARDS) - "TOGGY DAY"
A2	DE 6220 (DUNN EDWARDS) - "POROUS STONE"
A3	DE 6355 (DUNN EDWARDS) - "TARNISHED SILVER"
A4	DE 6356 (DUNN EDWARDS) - "SHEET METAL"

VENTILATED COMPOSITE FACADE COLORS:

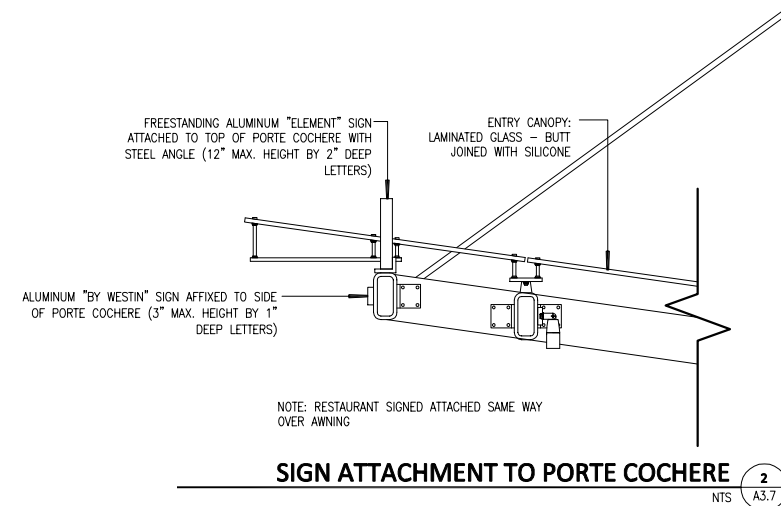
B1	PRODUCT: ALUMA-KOR MI-2002 COLOR: SILVER
B2	PRODUCT: ALUMA-KOR CC-003 COLOR: PATINA
B3	PRODUCT: ALUMA-KOR MI-2117 COLOR: SILVER GREY
T	PRODUCT: TRESPA EXTERIOR NW025 COLOR: HESPERIA - MATT PRODUCT: TRESPA EXTERIOR NW23/MT COLOR: NORDIC BLACK

## GENERAL NOTES:

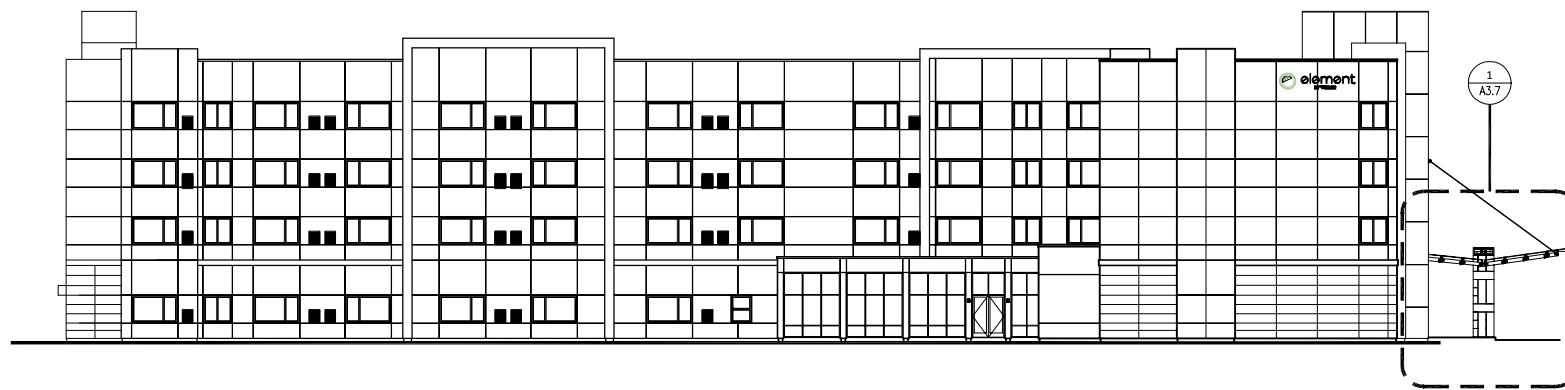
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- ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- PROPOSED HOTEL SIGNS ARE SHOWN FOR REFERENCE ONLY ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE APPLICATION AND PERMIT



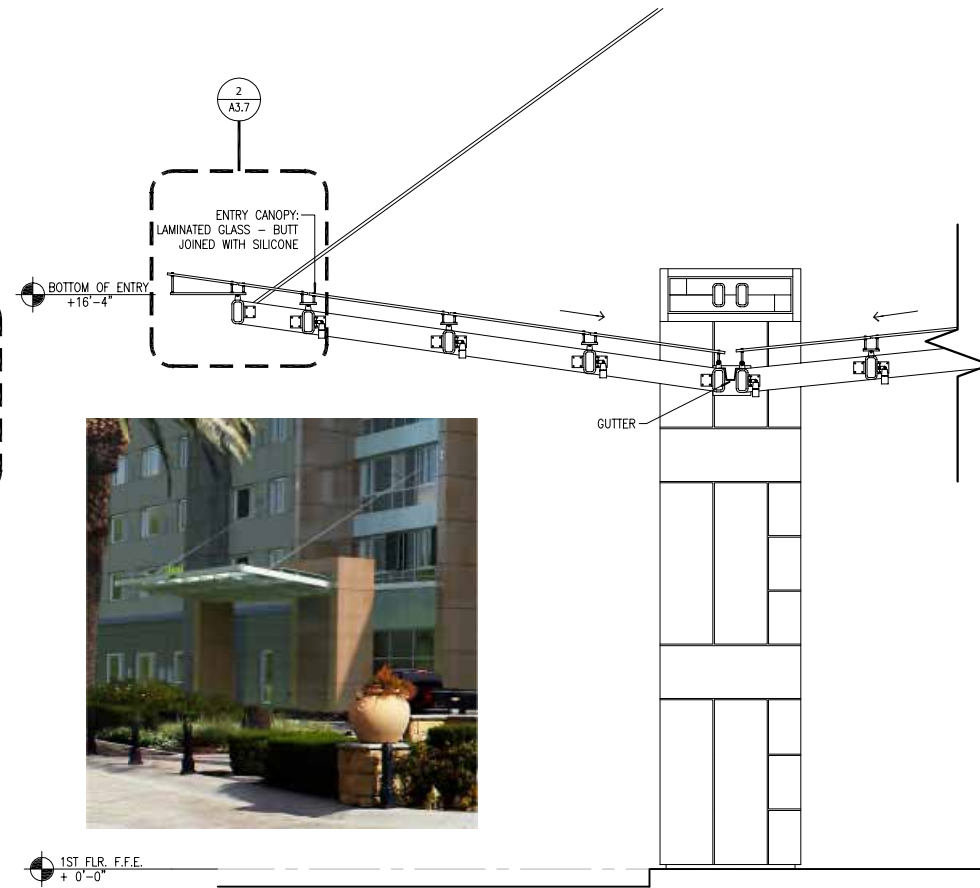
SOUTH ELEVATION



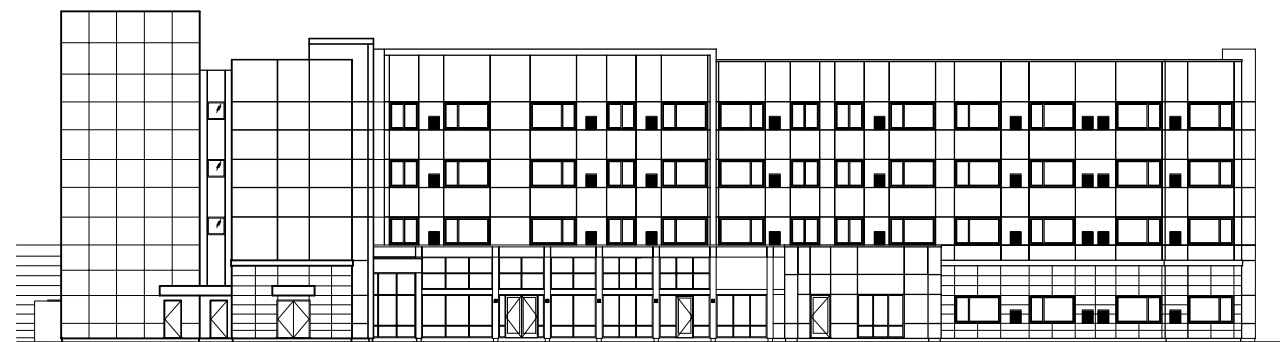
SIGN ATTACHMENT TO PORTE COCHERE



NORTH ELEVATION



SECTION AT COVERED ENTRY



EAST ELEVATION



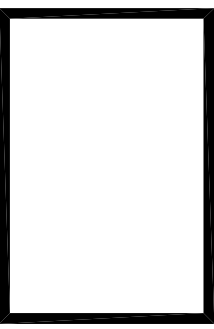
1ST FLR. F.F.E.  
+ 0'-0"

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ARCHITECTS  
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**element**  
BY WESTIN

Ontario  
CALIFORNIA

REVISION:	DATE:	COMMENTS:
-----------	-------	-----------

PROJECT NO:	15-309
PRINT DATE:	11-15-2016
DRAWN BY:	MP / SK
CHECKED BY:	SK / JP

SHEET TITLE:  
**CONCEPTUAL  
SIGN  
LOCATIONS  
SIZES  
&  
TYPE**

SHEET NUMBER:  
**A3.7**



Planning: Approved

10/26/2023 5:05:47 PM

# The Collection

## Ontario, CA

LATEST UPDATE:  
October 16, 2023  
**SIGN CRITERIA**  
Drawing #28588R26

Prepared by



**National Sign & Marketing Corporation**



**APN:**

**Legal Description:**

**Recorded Book/Page:**

**Subdivision Name:**

**Lot/Parcel:**

**Block:**

**Tract Number:**

**Surrounding Zones:**

**Thomas Guide Reference:**

**Applicant:** Patrick Faranal  
 c/o National Sign and Marketing  
 13580 5th St.  
 Chino, CA 91710  
 Tel 909.591.4742 Fax 909.591.9792  
 Lic# 745030 - Exp. 01/31/24

**Exhibit Prepare:** Sean Duffy / Patrick Faranal  
 C/O National Sign and Marketing  
 13580 5th St.  
 Chino, CA 91710  
 Tel 909.591.4742 Fax 909.591.9792  
 Lic# 745030 - Exp. 01/31/24

**Land Owner:** Lewis Retail Centers  
 1156 N Mountain Ave.  
 Upland, CA 91785

**PROJECT DIRECTORY**

**Developer:** Lewis Retail Centers  
 1156 N Mountain Ave.  
 Upland, CA 91785  
 (909) 949-6790  
 Attn: Arnold Renteria

**Signage Consultant:** National Sign & Marketing  
 13580 Fifth Street  
 Chino, CA 91710  
 Contact:  
 (909) 591-4742  
 fax (909) 591-9792

**City Planning:** City of Ontario  
 Planning Department  
 303 East B Street  
 Ontario, CA 91764  
 (909) 395-2036

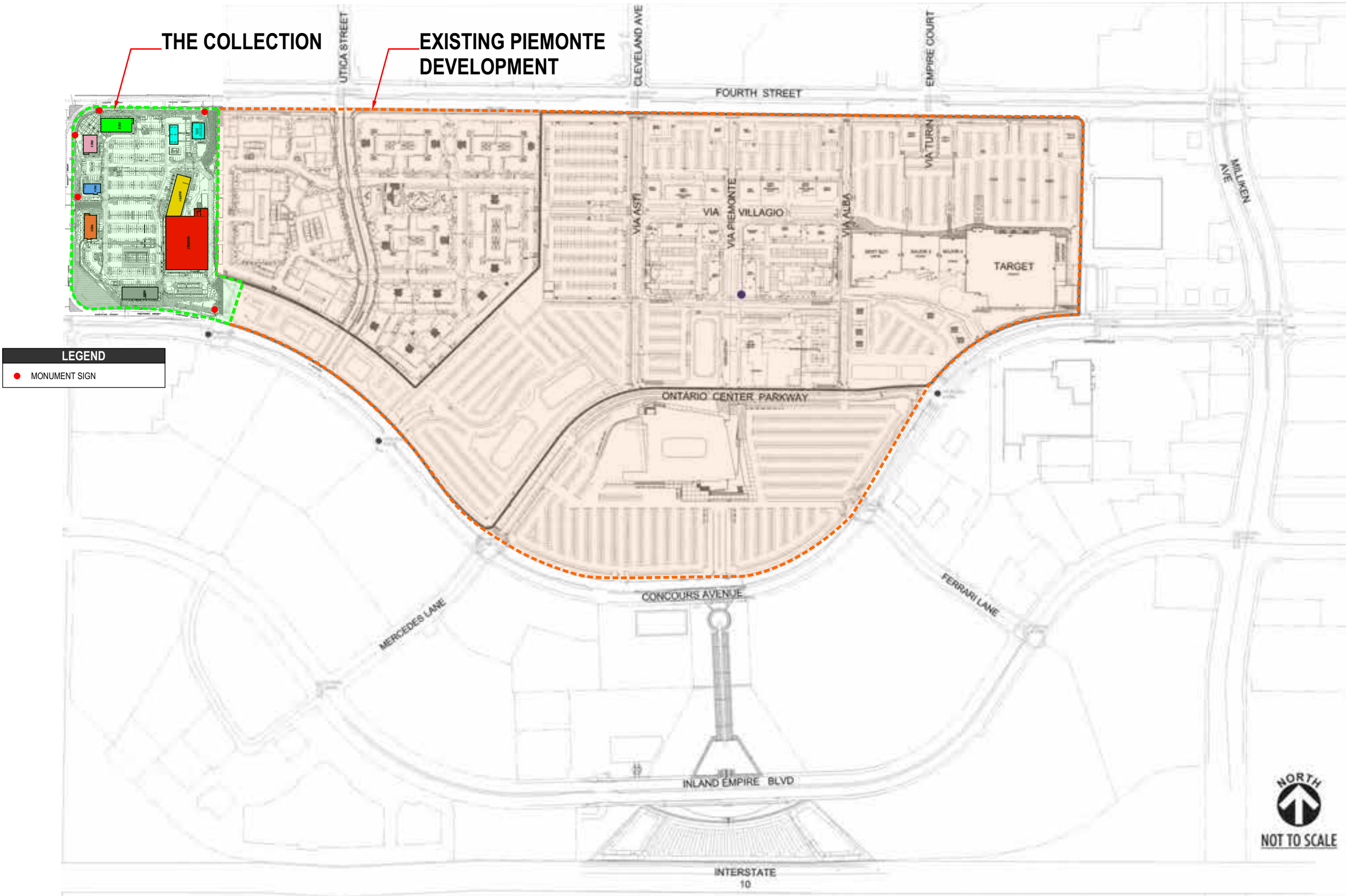
**TABLE OF CONTENTS**

	<b>PAGE</b>
Table of Contents .....	1
Overall Site Plan .....	2
Project Site Plan .....	3
Major Tenant Market Signs .....	4
Major Tenant Market Elevation .....	5
Shops 1 Signs .....	6
Shops 1 Elevation .....	7
Fuel Center Signs .....	8
Fuel Center Elevation .....	9
Fuel Center Monument Sign .....	10
Pad 2 & 3 Signs .....	11
Pad 2 Elevation .....	12
Pad 2 Patio Elevation .....	13
Pad 3 Elevation .....	14
Pad 4 Signs .....	15
Pad 4 Elevation .....	16
Pad 5 Signs .....	17
Pad 5 Elevation .....	18
Pad 6 & Shops 1 Signs .....	19
Pad 6 Elevations .....	20
Multi-Tenant Monument Sign .....	21
Window and Door Signage .....	22
Approved Signs .....	23
Approved Signs .....	24
Approved Signs .....	25
Address Numerals .....	26
Overview .....	27
Submittal and Approval .....	28
Construction Requirements & All Companies Bidding to Manufacture	29
Sign Types & Miscellaneous Restrictions .....	30
D/F Illuminated Monument Sign .....	31
D/F Illuminated Monument Sign Elevation .....	32
D/F Illuminated Monument Sign Elevation .....	33
Colors and Materials Board .....	34
Channel Letters on Eyebrow Canopy Examples .....	35



# The Collection

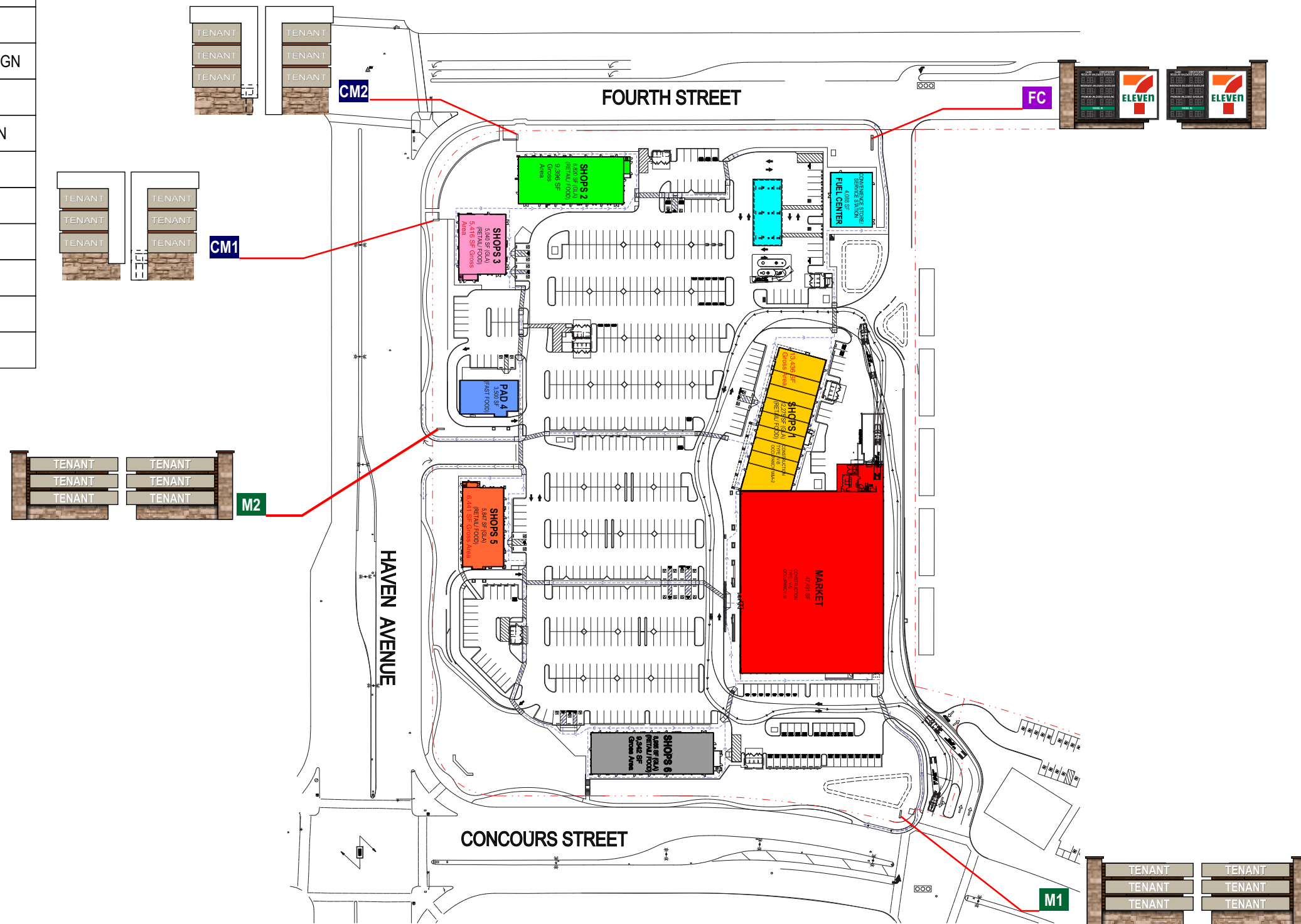
Ontario, CA



# The Collection

Ontario, CA

CM	D/F ILLUM. TENANT MONUMENT SIGN ATTACHED TO CENTER ID SIGN
M	D/F ILLUM. TENANT MONUMENT SIGN
FC	D/F ILLUM. FUEL CENTER MONUMENT SIGN
MARKET	MARKET
CONVENIENCE STORE/SERVICE STATION	CONVENIENCE STORE/SERVICE STATION
SHOPS 1	SHOPS 1
PAD 2	PAD 2
PAD 3	PAD 3
PAD 4	PAD 4
PAD 5	PAD 5
PAD 6	PAD 6



SCALE: 1" = 160'-0"

## Major Tenant Market Signs

---

1. Approval Required:
  - a. All signs shall be attached to the building only at a location approved by the Landlord and the City of Ontario.
2. Primary Wall Sign:
  - a. The main business identification sign shall be located on the building fascia at the location shown on elevation pages.
3. Building Address Numerals
  - a. The building address numerals to be face and halo illuminated channel letters placed on the building per fire department requirement.
4. Suite Address Number Sign:
  - a. The suite number or address of the lease space shall be centered above the door per fire department requirement with white vinyl film.
5. Sign type:
  - a. Tenants signs shall be composed of channel letters and logos. (Face illuminated, halo illuminated or a combination of both will be allowed)
6. Tenant Identification Signs:
  - a. The maximum sign area allowed for the main identification sign is one (1) square foot of wall signage per linear foot of storefront frontage.
  - b. The maximum size for the main identification sign shall not exceed 220 SF with a maximum height of eight (8) feet eight (8) inches for a single-line copy sign or six (6) feet eight (8) inches for double-line copy sign. A sublease tenant is allowed one (1) wall sign per sub-establishment, maximum of (2) sublease businesses, not to exceed 75 square feet. Icons/Logos a maximum height of four (4) feet.
  - c. Secondary signs shall not exceed one (1) square feet of wall signage per linear foot of secondary elevation leasehold frontage with maximum letter height of seven (7) feet.
  - d. A maximum of four (4) descriptor signs per building elevation. Overall sign height shall be limited to 24" per line unless larger signs are consistent with the building's sign area proportions as determined by Owner/Landlord and the City Planning Director.
  - e. Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation with a total of three (3) signs.
  - f. Location: Landlord shall reasonably approve location of tenant signs which shall be in keeping with the architectural design of the building. Signs to be located only within the space and surface specifically provided for on the building. Signs shall not be permitted on a wall that faces a residential zone that does not face a public street.
  - g. Maximum length shall not exceed 80 percent of any street or parking lot frontage.
7. Materials:
  - a. Face material shall be acrylic. Landlord must approve colors prior to sign permit submittal.
  - b. Letter returns shall be aluminum, painted to match building colors or Landlord approved colors.
  - c. Letter return depth shall not exceed 7" from the face of the building.
  - d. Trim cap size: 1" for letters and logo elements.
8. Lighting:
  - a. All signs shall be internal LED illuminated with no exposed lighting.
  - b. All signs shall be U.L. listed.

# The Collection

Ontario, CA



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

scale: 3/128" = 1'-0"

220 SQUARE FEET MAXIMUM

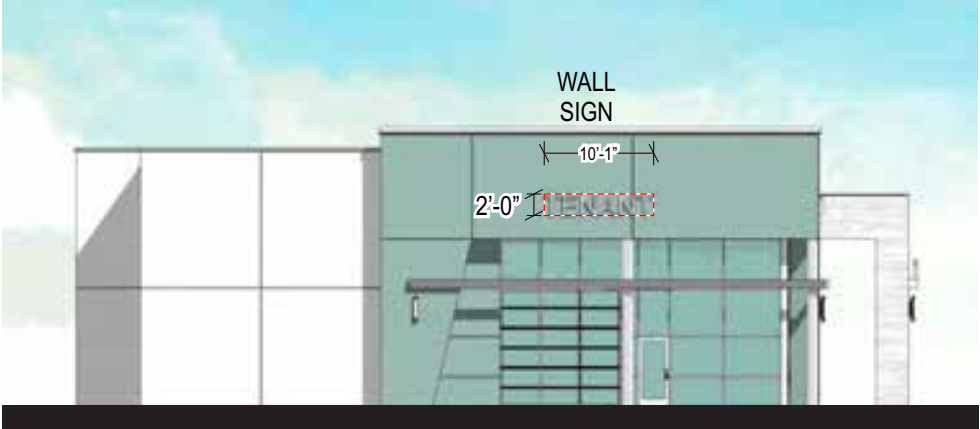
## Shops 1 Building Signs

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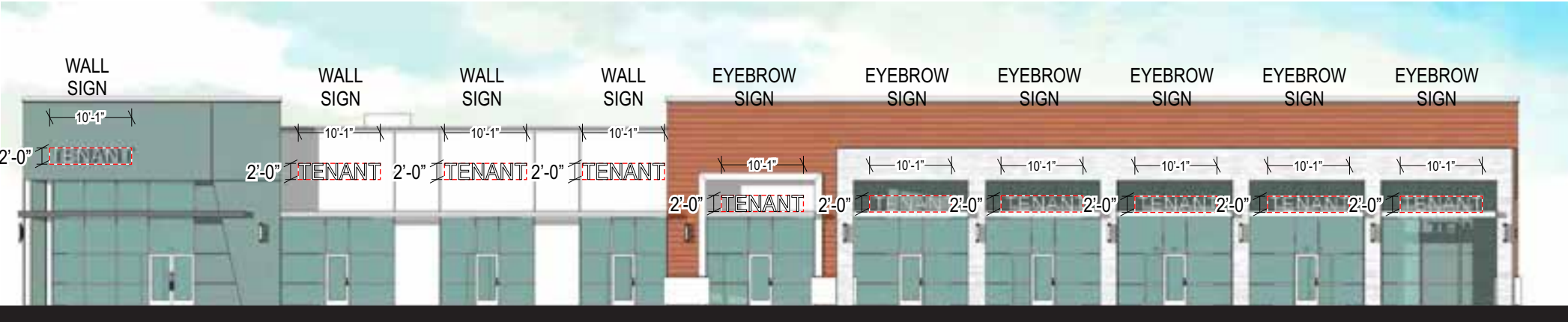
1. Approval Required:
  - a. All signs shall be attached to the building only at a location approved by the Landlord and the City of Ontario.
2. Primary Wall Sign:
  - a. The main business identification sign shall be located on the building fascia at a location approved by the Landlord and the City of Ontario.
3. Building Address Numerals
  - a. The building address numerals to be face and halo illuminated channel letters placed on the building per fire department requirement.
4. Window Sign:
  - a. The business identification window sign shall be centered on the store front glass nearest the main pedestrian entrance. The sign shall not exceed three (3) square feet or less than 10% of the window area, whichever is less, and shall be composed of white vinyl Helvetica medium lettering. Copy shall consist of name of business, hours of operation and emergency phone numbers.
5. Suite Number Sign:
  - a. The suite number or address of the lease space shall be centered above the door 4" high with white vinyl film.
6. Sign type:
  - a. Tenants signs shall be composed of channel letters and logos. (Face illuminated, halo illuminated or a combination of both will be allowed)
7. Primary Wall Sign:
  - a. The maximum sign area allowed for the main identification sign is one (1) square foot of wall signage per linear foot of storefront frontage.
  - b. The maximum size for the main identification sign shall not exceed 100 SF with a maximum height of two (2) feet for a single-line copy sign or two (2) feet six (6) inches for any double-line copy sign. Icons/Logos a maximum height of four (4) feet.
  - c. Secondary signs shall not exceed one (1) square feet of wall signage per linear foot of secondary elevation leasehold frontage with maximum letter height of two (2) feet six (6) inches.
  - d. Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation with a total of two (2) signs.
  - e. Location: Landlord shall reasonably approve location of tenant signs which shall be in keeping with the architectural design of the building. Signs to be located only within the space and surface specifically provided for on the building. Signs shall not be permitted on a wall that faces a residential zone that does not face a public street.
  - f. Maximum length shall not exceed 80 percent of any street or parking lot frontage.
8. Materials:
  - a. Sign Face shall be Acrylic. Landlord must approve colors prior to sign permit submittal.
  - b. Letter return material shall be aluminum, painted to match building colors or Landlord approved colors.
  - c. Letter return depth shall not exceed 7" from the face of the building.
  - d. Trim cap size shall be 1" for letters and logo elements.
9. Lighting:
  - a. All signs shall be internal LED illuminated with no exposed lighting.
  - b. All signs shall be U.L. listed.



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

SCALE: NTS

100 SQUARE FEET MAXIMUM

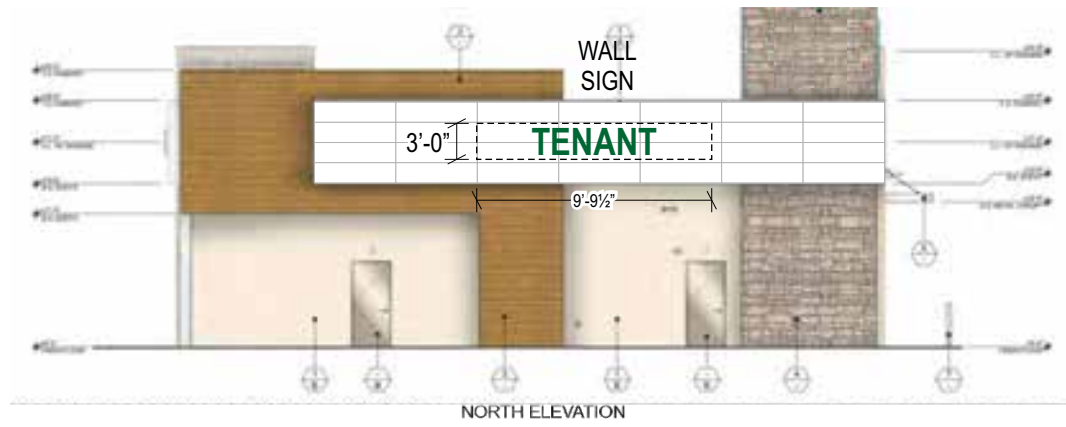
## Fuel Center Signs

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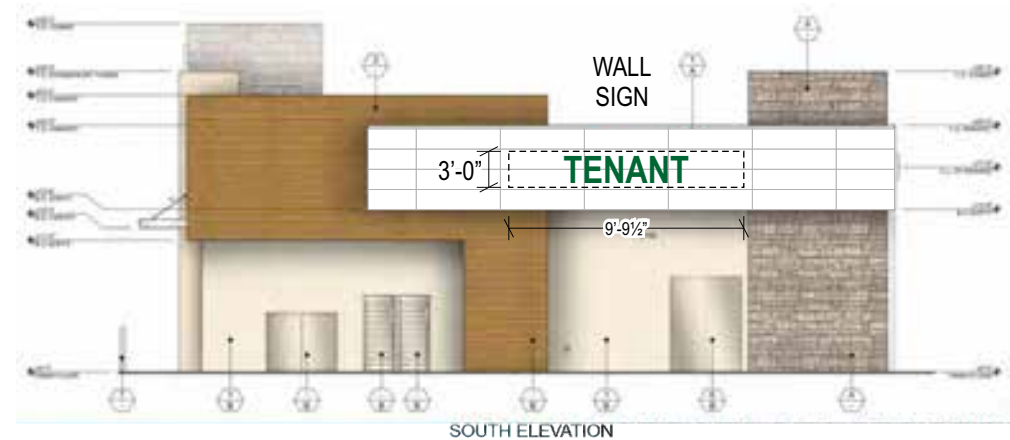
1. Approval Required:
  - a. All signs shall be attached to the building only at a location approved by the Landlord and the City of Ontario.
2. Primary Wall Sign:
  - a. The main business identification sign shall be located on the building fascia at the location shown on elevation pages.
3. Building Address Numerals
  - a. The building address numerals to be face and halo illuminated channel letters placed on the building per fire department requirement.
4. Suite Address Number Sign:
  - a. The suite number or address of the lease space shall be centered above the door per fire department requirement with white vinyl film.
5. Sign type:
  - a. Tenants signs shall be composed of channel letters and logos. (Face illuminated, halo illuminated or a combination of both will be allowed)
6. Tenant Identification Signs:
  - a. The maximum sign area allowed for the main identification sign is one (1) square foot of wall signage per linear foot of storefront frontage.
  - b. The maximum size for the main identification sign shall not exceed 100 SF with a maximum height of three (3) feet for a single-line copy sign three (3) feet six (6) inches for any double-line copy sign. Icons/Logos a maximum height of four (4) feet.
  - c. Secondary signs shall not exceed one (1) square feet of wall signage per linear foot of secondary elevation leasehold frontage with maximum letter height of three (3) feet.
  - d. Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation with a total of three (3) signs.
  - e. Location: Landlord shall reasonably approve location of tenant signs which shall be in keeping with the architectural design of the building. Signs to be located only within the space and surface specifically provided for on the building. Signs shall not be permitted on a wall that faces a residential zone that does not face a public street.
7. Fuel Sales Signs:
  - a. Fuel Island Canopy Sign: One fuel island canopy sign per elevation, not to exceed 2 signs. Maximum of 16 square feet per building elevation with a maximum height of two (2) feet alphanumeric or two and one-half (2-1/2) feet logo height for single or double line copy.
  - b. Fuel Pump Identification: One logo/icon identification sign per fuel pump face, not to exceed 2 signs per pump. Maximum of 2.25 square feet with a maximum letter or logo height of one and one-half (1-1/2) feet.
  - c. Monument Sign: One monument fuel pricing sign per street frontage. Maximum sixty (60) square feet when combined with business identification signage and seven (7) feet overall height.  
Maximum length shall not exceed 80 percent of any street or parking lot frontage.
8. Materials:
  - a. Face material shall be acrylic. Landlord must approve colors prior to sign permit submittal.
  - b. Letter returns shall be aluminum, painted to match building colors or Landlord approved colors.
  - c. Letter return depth shall not exceed 7" from the face of the building.
  - d. Trim cap size: 1" for letters and logo elements.
9. Lighting:
  - a. All signs shall be internal LED illuminated with no exposed lighting.
  - b. All signs shall be U.L. listed.

# The Collection

Ontario, CA



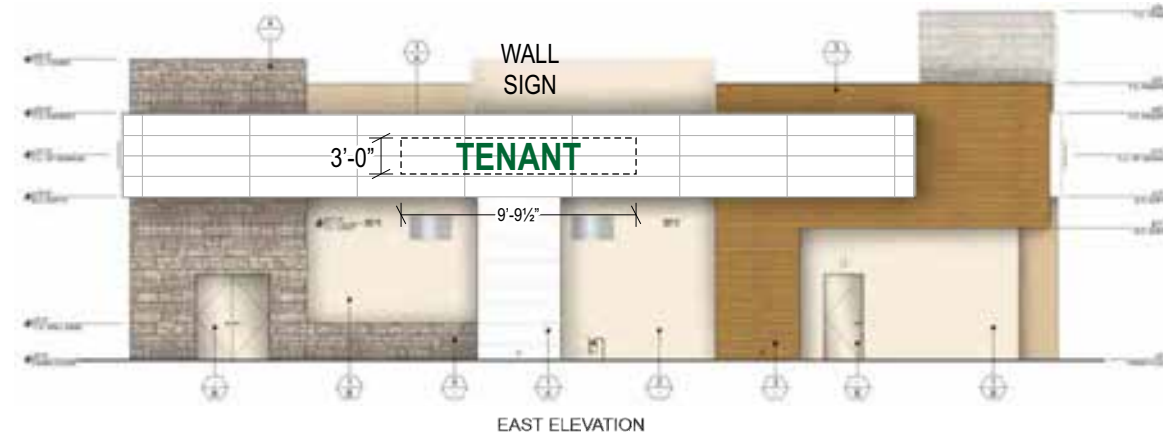
NORTH ELEVATION



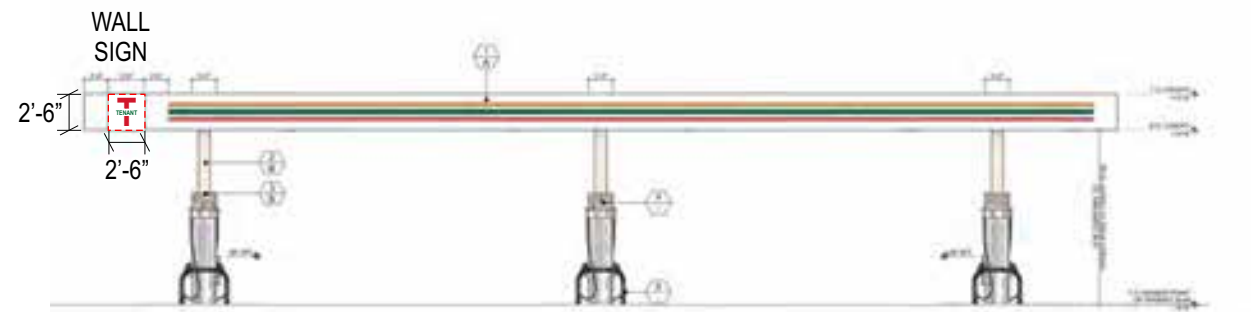
SOUTH ELEVATION



WEST ELEVATION

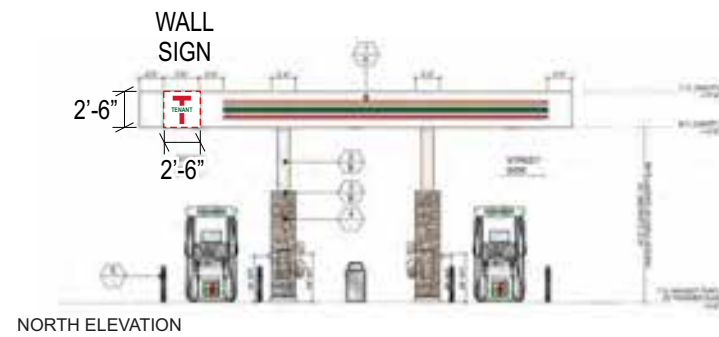


EAST ELEVATION



WEST ELEVATION

SCALE: 1/16" = 1'-0"



NORTH ELEVATION

100 SQUARE FEET MAXIMUM



# The Collection

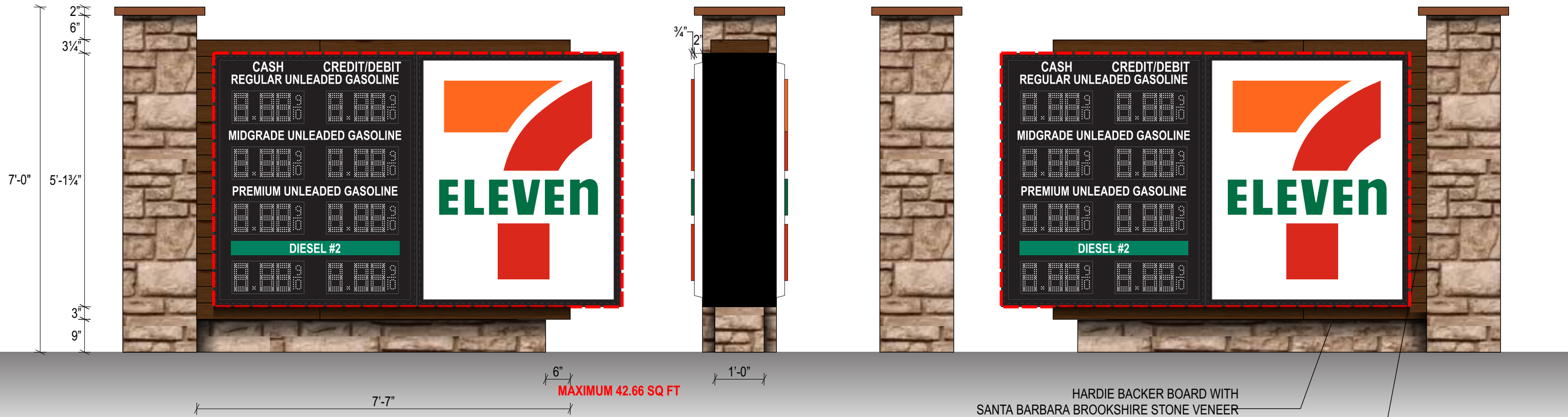
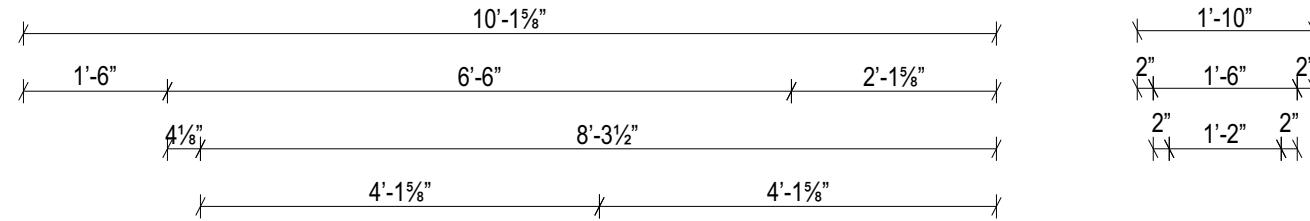
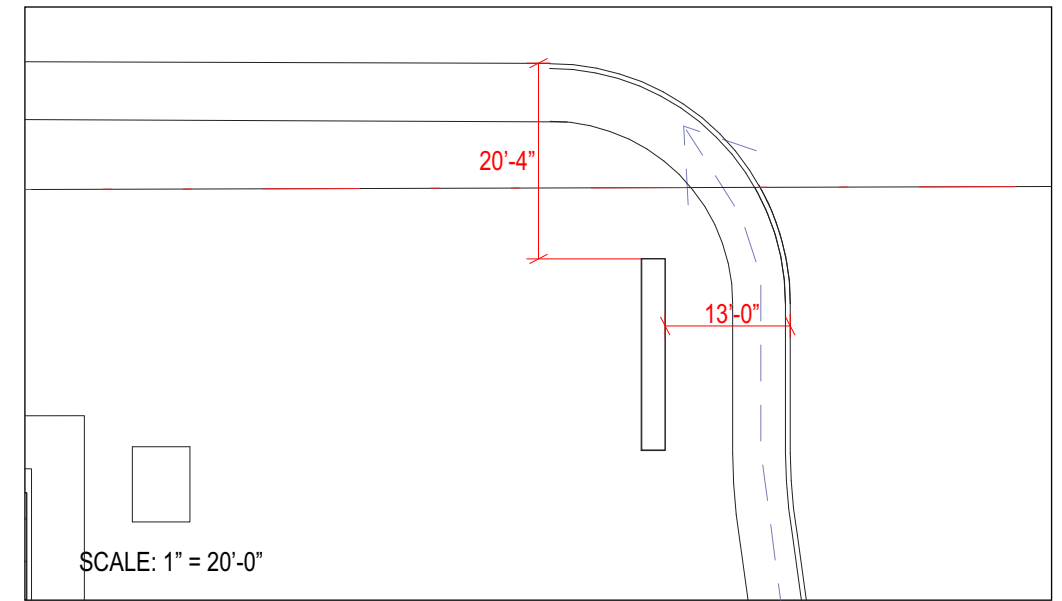
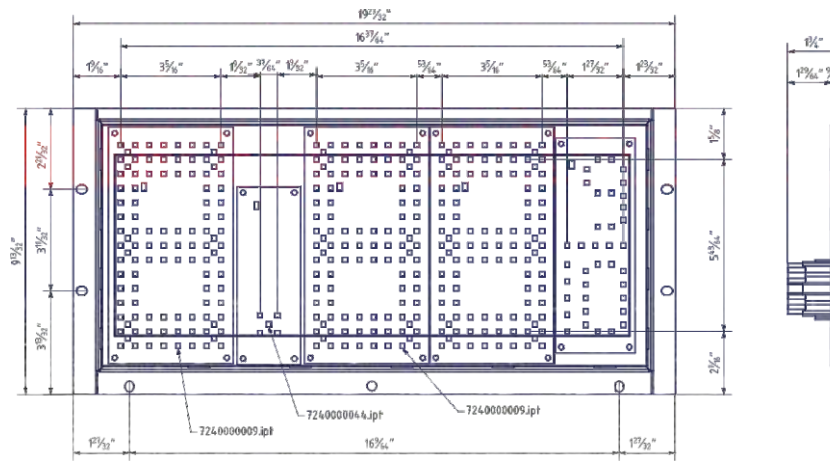
## Ontario, CA

FC

### Specifications:

- CABINET: NEW ALUMINUM 2X2X3/16" ALUMINUM ANGLE FRAME WITH .080 BODY FABRICATED CABINET RETURNS TO BE PAINTED TO MATCH CLIENT APPROVED COLORS
- FACES: EMBOSSED ACRYLIC WITH SECOND SURFACE GRAPHICS. OR .080 ALUMINUM PAN FACE WITH 1/2" WHITE ACRYLIC PUSH THRU WITH TRANSLUCENT VINYL APPLIED FIRST SURFACE.
- DIGITAL PRICING: PER TENANTS SPECIFICATIONS
- ILLUMINATION: TO BE ILLUMINATED BY 6500K WHITE LED
- BASE: HARDIE BACKER BOARD WITH SANTA BARBARA BROOKSHIRE STONE VENEER.
- FOOTING: FOOTING AND PIPE AS PER ENGINEERING

ALL WIRING AND COMPONENTS TO MEET U.L. STANDARDS



SCALE: 1/2" = 1'-0"

- DUNN EDWARDS DE6143 ALMOND LATTE
- ASPYRE SHIP LAP TO MATCH DUNN EDWARDS DE6077 DEEP BROWN
- CORONADO STONE - SANTA BARBARA BROOKSHIRE STONE VENEER

FIBER CEMENT SIDING - APYRE - ARTISIAN SHIPLAP SIDING COLOR TO MATCH DUNN EDWARDS DE6077 DEEP BROWN

## Pad 2 and 3 Building Signs

---

1. Approval Required:
  - a. All signs shall be attached to the building only at a location approved by the Landlord and the City of Ontario.
2. Primary Wall Sign:
  - a. The main business identification sign shall be located on the building fascia at the location shown on elevation pages.
3. Building Address Numerals
  - a. The building address numerals to be face and halo illuminated channel letters placed on the building per fire department requirement.
4. Suite Address Number Sign:
  - a. The suite number or address of the lease space shall be centered above the door per fire department requirement with white vinyl film.
5. Sign type:
  - a. Tenants signs shall be composed of channel letters and logos. (Face illuminated, halo illuminated or a combination of both will be allowed)
6. Tenant Identification Signs:
  - a. The maximum sign area allowed for the main identification sign is one (1) square foot of wall signage per linear foot of storefront frontage.
  - b. The maximum size for the main identification sign shall not exceed 50 SF with a maximum height of two (2) feet for a single-line copy sign or two (2) feet six (6) inches for any double-line copy sign. Icons/Logos a maximum height of four (4) feet.
  - c. Secondary signs shall not exceed one (1) square feet of wall signage per linear foot of secondary elevation leasehold frontage with maximum letter height of two (2) feet six (6) inches.
  - d. Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation with a total of two (2) signs.
  - e. Location: Landlord shall reasonably approve location of tenant signs which shall be in keeping with the architectural design of the building. Signs to be located only within the space and surface specifically provided for on the building.
  - f. Maximum length shall not exceed 80 percent of any street or parking lot frontage.
7. Materials:
  - a. Face material shall be acrylic. Landlord must approve colors prior to sign permit submittal.
  - b. Letter returns shall be aluminum, painted to match building colors or Landlord approved colors.
  - c. Letter return depth shall not exceed 7" from the face of the building.
  - d. Trim cap size: 1" for letters and logo elements.
8. Lighting:
  - a. All signs shall be internal LED illuminated with no exposed lighting.
  - b. All signs shall be U.L. listed.

# The Collection

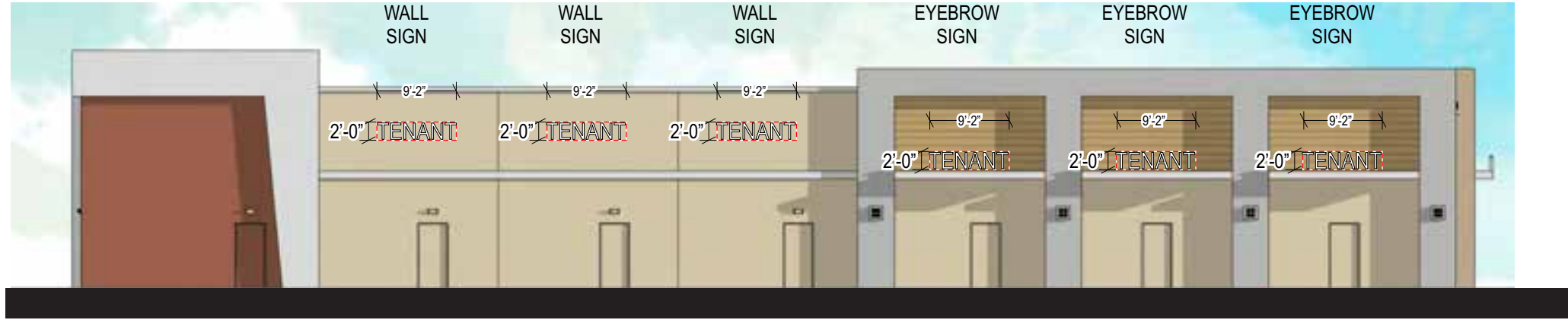
Ontario, CA



SOUTH ELEVATION



EAST ELEVATION



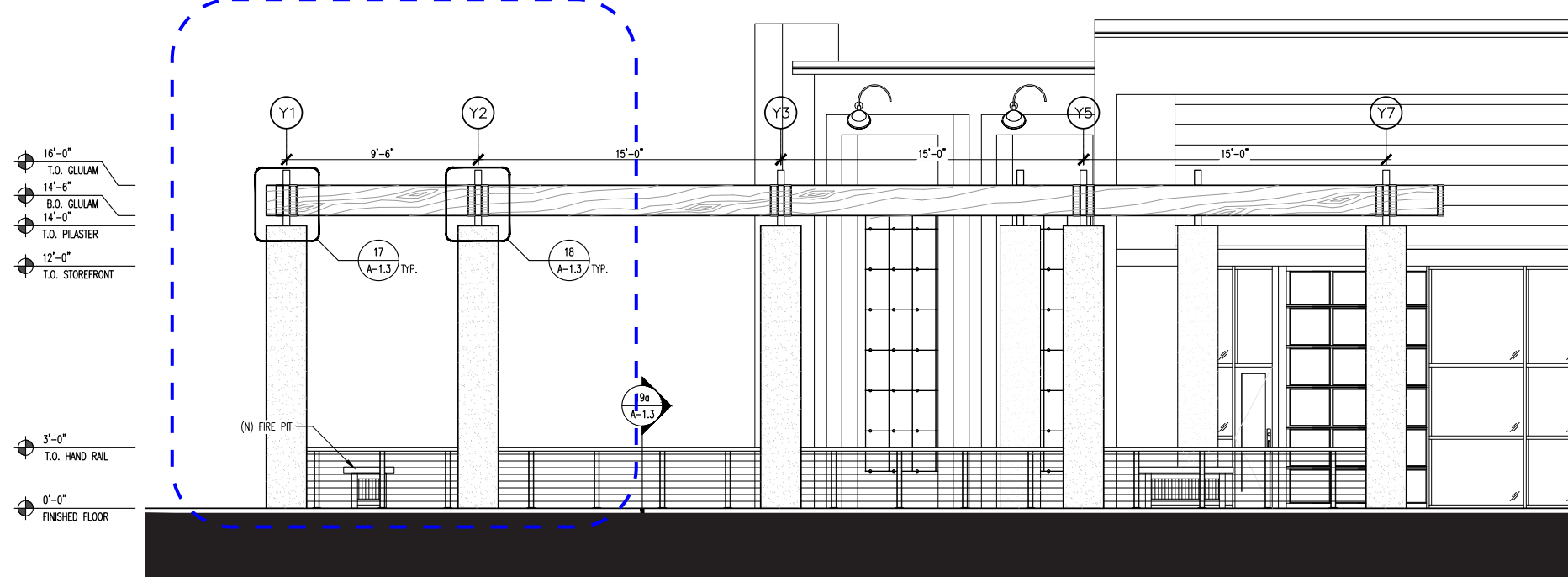
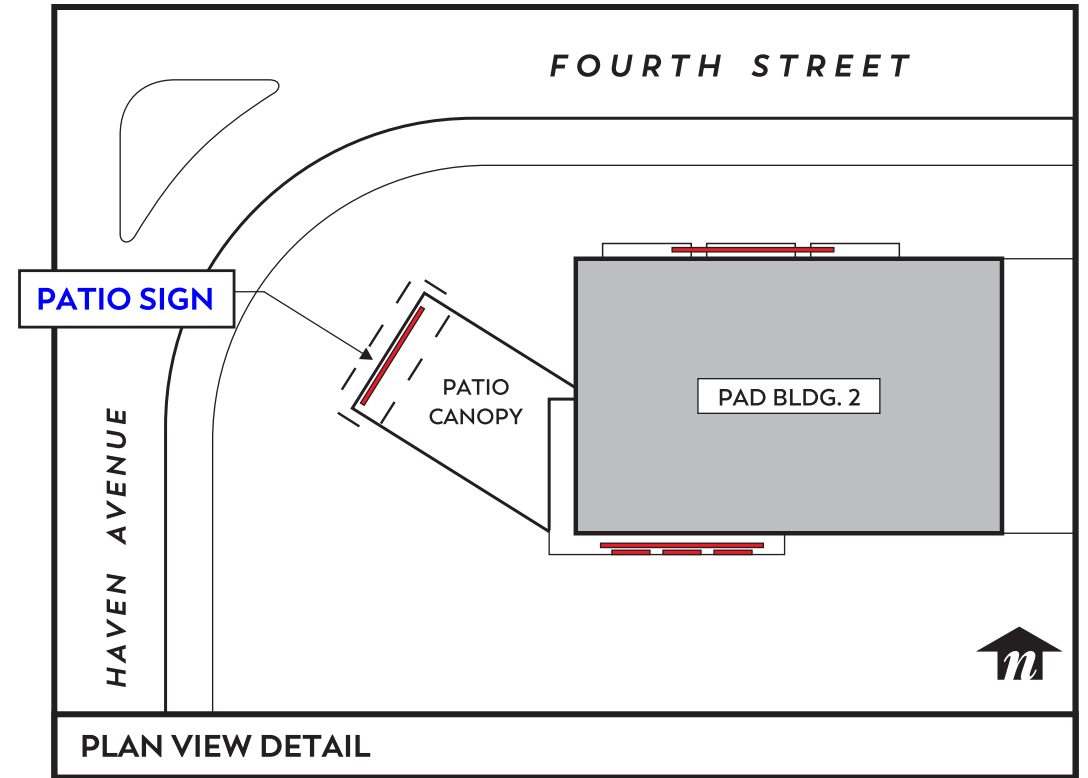
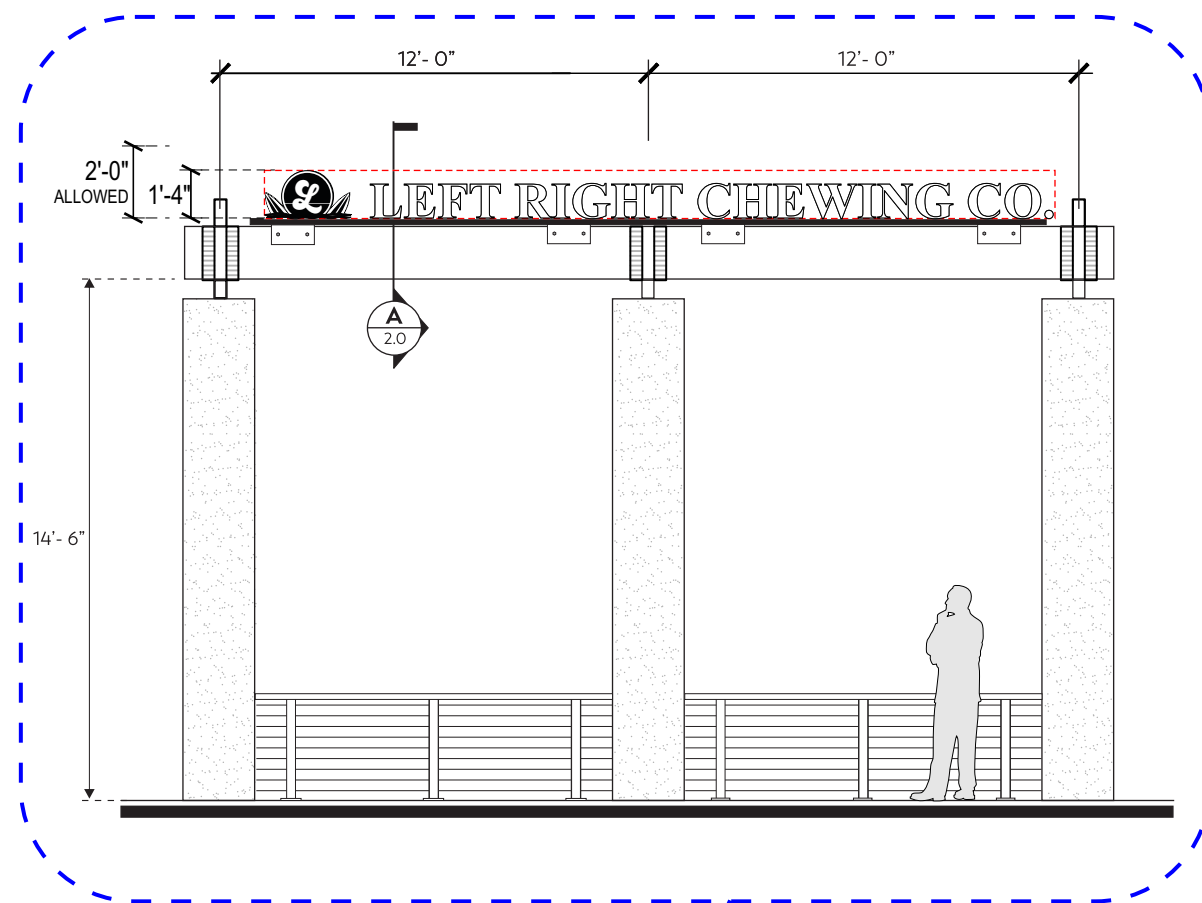
NORTH ELEVATION



WEST ELEVATION  
(SEE PAGE 13 FOR PATIO ELEVATIONS AND WEST SIDE SIGN)

SCALE: 1/16" = 1'-0"

50 SQUARE FEET MAXIMUM



SCALE: 1/8" = 1'-0"

50 SQUARE FEET MAXIMUM

PARTIAL WEST ELEVATION

## PAD 2 BUILDING (UP TO 8,820 SF) PATIO ELEVATION

# The Collection

Ontario, CA



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

50 SQUARE FEET MAXIMUM

## Pad 4 Signs

---

1. Approval Required:
  - a. All signs shall be attached to the building only at a location approved by the Landlord and the City of Ontario.
2. Primary Wall Sign:
  - a. The main business identification sign shall be located on the building fascia at a location approved by the Landlord and the City of Ontario.
3. Window Sign:
  - a. The business identification window sign shall be centered on the store front glass nearest the main pedestrian entrance. The sign shall not exceed three (3) square feet or less than 10% of the window area, whichever is less, and shall be composed of white vinyl Helvetica medium lettering. Copy shall consist of name of business, hours of operation and emergency phone numbers.
3. Building Address Numerals
  - a. The building address numerals to be face and halo illuminated channel letters placed on the building per fire department requirement.
4. Suite Number Sign:
  - a. The suite number or address of the lease space shall be centered above the door 4" high with white vinyl film.
5. Sign type:
  - a. Tenants signs shall be composed of channel letters and logos. (Face illuminated, halo illuminated or a combination of both will be allowed)
6. Tenant Identification Signs:
  - a. The maximum sign area allowed for the main identification sign is one (1) square foot of wall signage per linear foot of storefront frontage.
  - b. The maximum size for the main identification sign shall not exceed 50 SF with a maximum height of three (3) feet for a single-line copy sign or three (3) six (6) inches for any double-line copy sign. Icons/Logos a maximum height of four (4) feet.
  - c. Secondary signs shall not exceed one (1) square feet of wall signage per linear foot of secondary elevation leasehold frontage with maximum letter height of four (4) feet.
  - d. Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation with a total of three (3) signs.
  - e. Every business with a drive thru facility is permitted a maximum of two (2) menu/order board signs. The sign shall be adjacent to the drive thru aisle. The sign shall not be located as to impair the vision of the driver of a vehicle traveling either into, out of, or through the drive thru aisle. The area of each sign shall not exceed forty-three and two tenths (43.2) square feet for each menu board, and twenty (20) square feet for each preview menu . The height of the sign including the pole or base shall not exceed six (6) feet from grade to the top of the sign. An additional three (3) feet in overall height may be granted for menu boards with integrated overhead canopy, subject to developer written approval. The height of the sign including the pole or base shall not exceed six (6) feet from grade to the top of the sign.
  - f. Exit and Enter signs shall be placed as needed to insure traffic flow and will not be included in the overall square footage allowed. A plot plan showing all signs (Menu Boards and Exit and Enter signs) must be approved by the Owner and City of Ontario. No more than four (4) signs are allowed per business.
  - g. Location: Landlord shall reasonably approve location of tenant signs which shall be in keeping with the architectural design of the building. Signs to be located only within the space and surface specifically provided for on the building.
  - h. Maximum length shall not exceed 80 percent of any street or parking lot frontage.
7. Materials:
  - a. Sign Face shall be Acrylic. Landlord must approve colors prior to sign permit submittal.
  - b. Letter return material shall be aluminum, painted to match building colors or Landlord approved colors.
  - c. Letter return depth shall not exceed 7" from the face of the building.
  - d. Trim cap size shall be 1" for letters and logo elements.
8. Lighting:
  - a. All signs shall be internal LED illuminated with no exposed lighting.
  - b. All signs shall be U.L. listed.

# The Collection

Ontario, CA



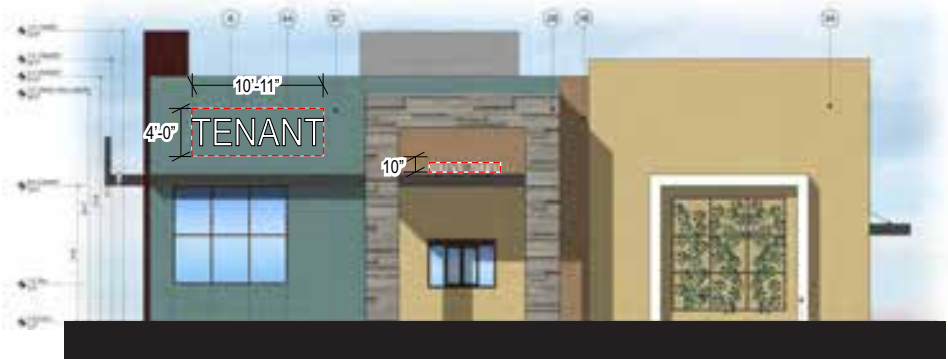
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

50 SQUARE FEET MAXIMUM

## Pad 5 Signs

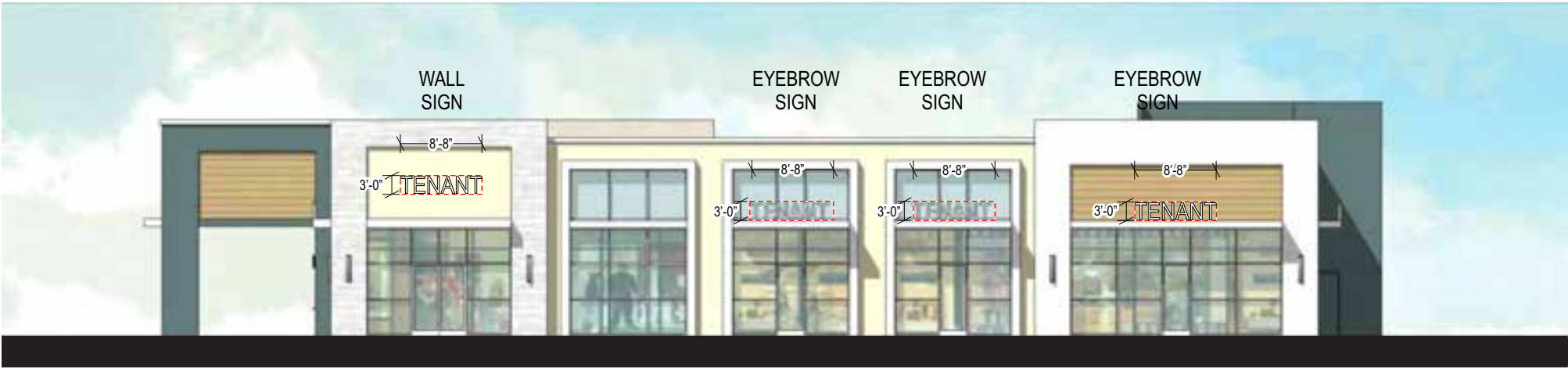
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1. Approval Required:
  - a. All signs shall be attached to the building only at a location approved by the Landlord and the City of Ontario.
2. Primary Wall Sign:
  - a. The main business identification sign shall be located on the building fascia at a location approved by the Landlord and the City of Ontario.
3. Window Sign:
  - a. The business identification window sign shall be centered on the store front glass nearest the main pedestrian entrance. The sign shall not exceed three (3) square feet or less than 10% of the window area, whichever is less, and shall be composed of white vinyl Helvetica medium lettering. Copy shall consist of name of business, hours of operation and emergency phone numbers.
3. Building Address Numerals
  - a. The building address numerals to be face and halo illuminated channel letters placed on the building per fire department requirement.
4. Suite Number Sign:
  - a. The suite number or address of the lease space shall be centered above the door 4" high with white vinyl film.
5. Sign type:
  - a. Tenants signs shall be composed of channel letters and logos. (Face illuminated, halo illuminated or a combination of both will be allowed)
6. Tenant Identification Signs:
  - a. The maximum sign area allowed for the main identification sign is one (1) square foot of wall signage per linear foot of storefront frontage.
  - b. The maximum size for the main identification sign shall not exceed 50 SF with a maximum height of three (3) feet for a single-line copy sign or three foot (3) six (6) inches for any double-line copy sign. Icons/Logos a maximum height of four (4) feet.
  - c. Secondary signs shall not exceed one (1) square feet of wall signage per linear foot of secondary elevation leasehold frontage with maximum letter height of three foot (3) six (6) inches.
  - d. Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation with a total of three (3) signs.
  - e. Every business with a drive thru facility is permitted a maximum of two (2) menu/order board signs. The sign shall be adjacent to the drive thru aisle. The sign shall not be located as to impair the vision of the driver of a vehicle traveling either into, out of, or through the drive thru aisle. The area of each sign shall not exceed forty-three and two tenths (43.2) square feet for each menu board, and twenty (20) square feet for each preview menu. The height of the sign including the pole or base shall not exceed six (6) feet from grade to the top of the sign. An additional three (3) feet in overall height may be granted for menu boards with integrated overhead canopy, subject to developer written approval. The height of the sign including the pole or base shall not exceed six (6) feet from grade to the top of the sign.
  - f. Exit and Enter signs shall be placed as needed to insure traffic flow and will not be included in the overall square footage allowed. A plot plan showing all signs (Menu Boards and Exit and Enter signs) must be approved by the Owner and City of Ontario. No more than four (4) signs are allowed per business.
  - g. Location: Landlord shall reasonably approve location of tenant signs which shall be in keeping with the architectural design of the building. Signs to be located only within the space and surface specifically provided for on the building.
  - h. Maximum length shall not exceed 80 percent of any street or parking lot frontage.
7. Materials:
  - a. Sign Face shall be Acrylic. Landlord must approve colors prior to sign permit submittal.
  - b. Letter return material shall be aluminum, painted to match building colors or Landlord approved colors.
  - c. Letter return depth shall not exceed 7" from the face of the building.
  - d. Trim cap size shall be 1" for letters and logo elements.
8. Lighting:
  - a. All signs shall be internal LED illuminated with no exposed lighting.
  - b. All signs shall be U.L. listed.



# The Collection

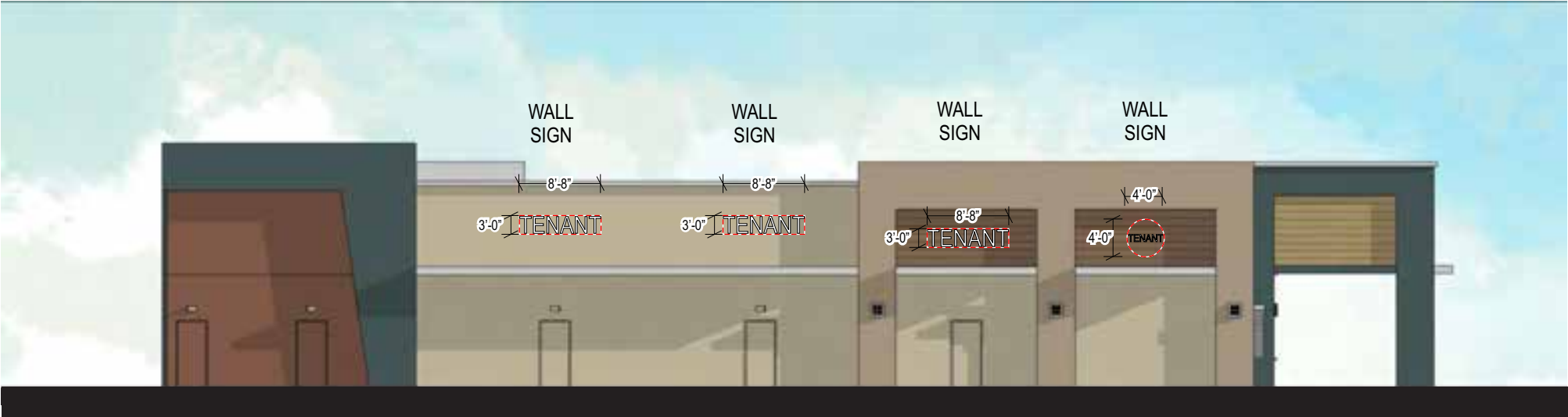
Ontario, CA



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

50 SQUARE FEET MAXIMUM

## Pad 6 Building Signs

---

1. Approval Required:
  - a. All signs shall be attached to the building only at a location approved by the Landlord and the City of Ontario.
2. Primary Wall Sign:
  - a. The main business identification sign shall be located on the building fascia at a location approved by the Landlord and the City of Ontario.
3. Building Address Numerals
  - a. The building address numerals to be face and halo illuminated channel letters placed on the building per fire department requirement.
4. Window Sign:
  - a. The business identification window sign shall be centered on the store front glass nearest the main pedestrian entrance. The sign shall not exceed three (3) square feet or less than 10% of the window area, whichever is less, and shall be composed of white vinyl Helvetica medium lettering. Copy shall consist of name of business, hours of operation and emergency phone numbers.
5. Suite Number Sign:
  - a. The suite number or address of the lease space shall be centered above the door 4" high with white vinyl film.
6. Sign type:
  - a. Tenants signs shall be composed of channel letters and logos. (Face illuminated, halo illuminated or a combination of both will be allowed)
7. Primary Wall Sign:
  - a. The maximum sign area allowed for the main identification sign is one (1) square foot of wall signage per linear foot of storefront frontage.
  - b. The maximum size for the main identification sign shall not exceed 100 SF with a maximum height of two (2) feet for a single-line copy sign or two (2) feet six (6) inches for any double-line copy sign. Icons/Logos a maximum height of four (4) feet.
  - c. Secondary signs shall not exceed one (1) square feet of wall signage per linear foot of secondary elevation leasehold frontage with maximum letter height of two (2) feet six (6) inches.
  - d. Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation with a total of two (2) signs.
  - e. Location: Landlord shall reasonably approve location of tenant signs which shall be in keeping with the architectural design of the building. Signs to be located only within the space and surface specifically provided for on the building. Signs shall not be permitted on a wall that faces a residential zone that does not face a public street.
  - f. Maximum length shall not exceed 80 percent of any street or parking lot frontage.
8. Materials:
  - a. Sign Face shall be Acrylic. Landlord must approve colors prior to sign permit submittal.
  - b. Letter return material shall be aluminum, painted to match building colors or Landlord approved colors.
  - c. Letter return depth shall not exceed 7" from the face of the building.
  - d. Trim cap size shall be 1" for letters and logo elements.
9. Lighting:
  - a. All signs shall be internal LED illuminated with no exposed lighting.
  - b. All signs shall be U.L. listed.

# The Collection

Ontario, CA



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

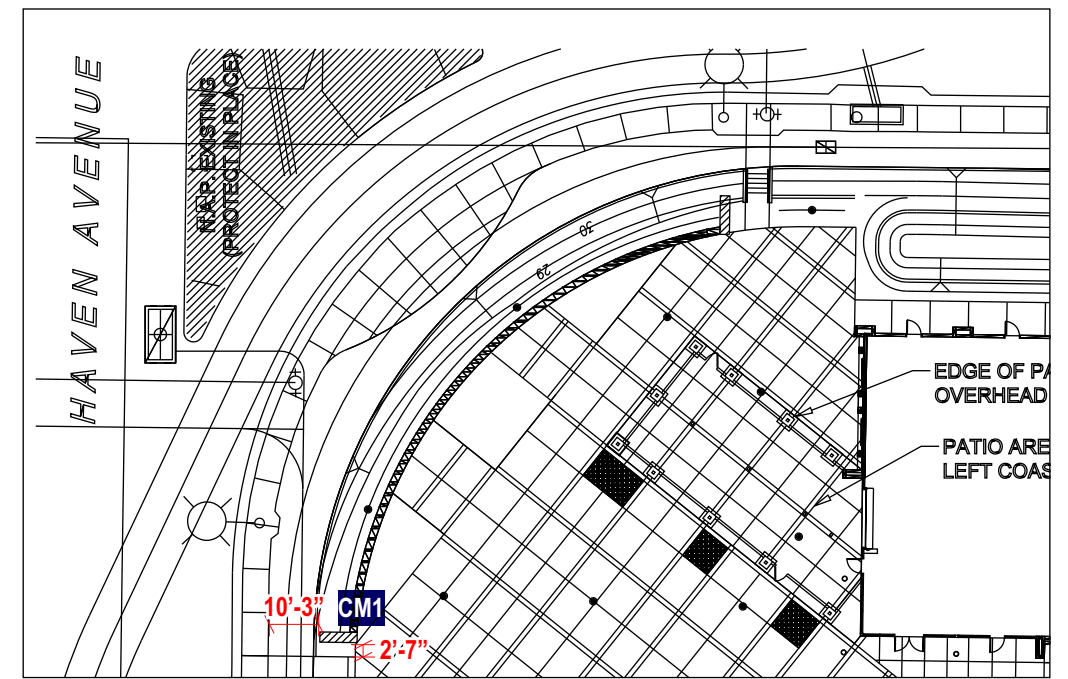
SCALE: 1/16" = 1'-0"

100 SQUARE FEET MAXIMUM

# The Collection

Ontario, CA

CM1

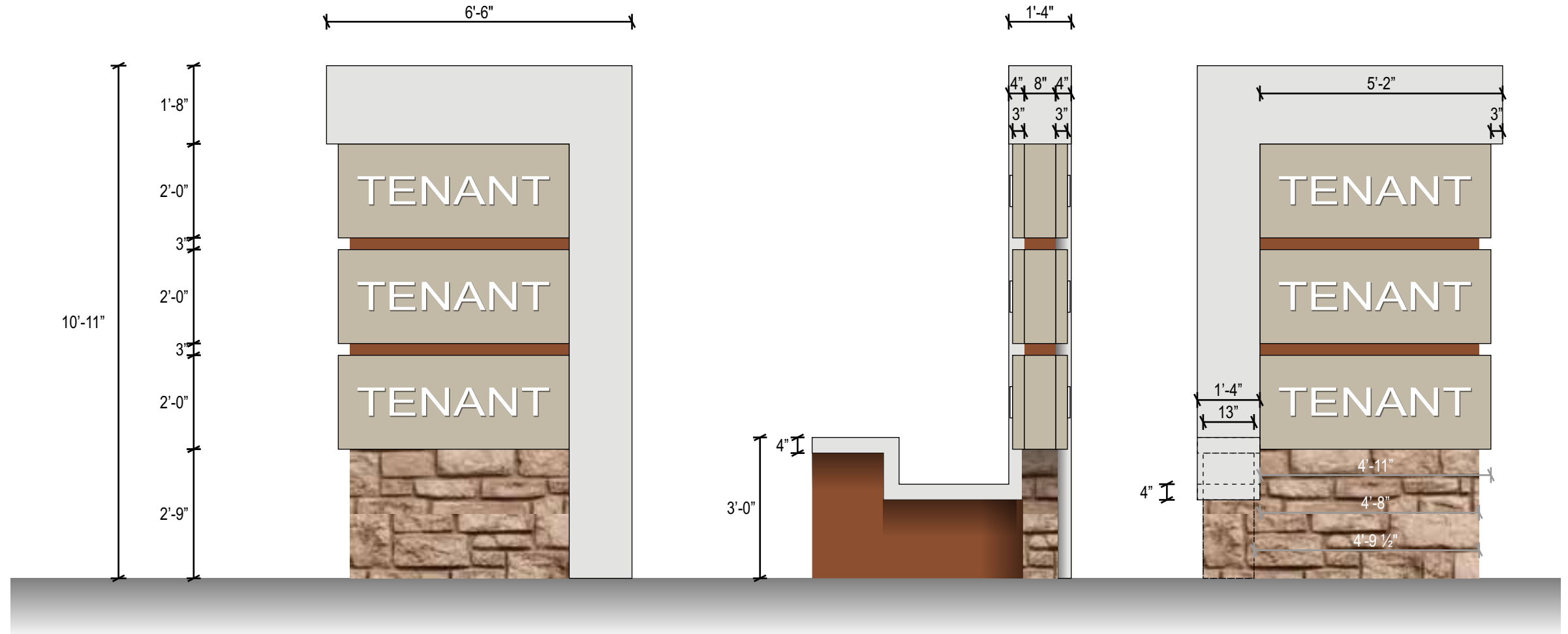


SCALE: 1" = 40'-0"

### Specifications:

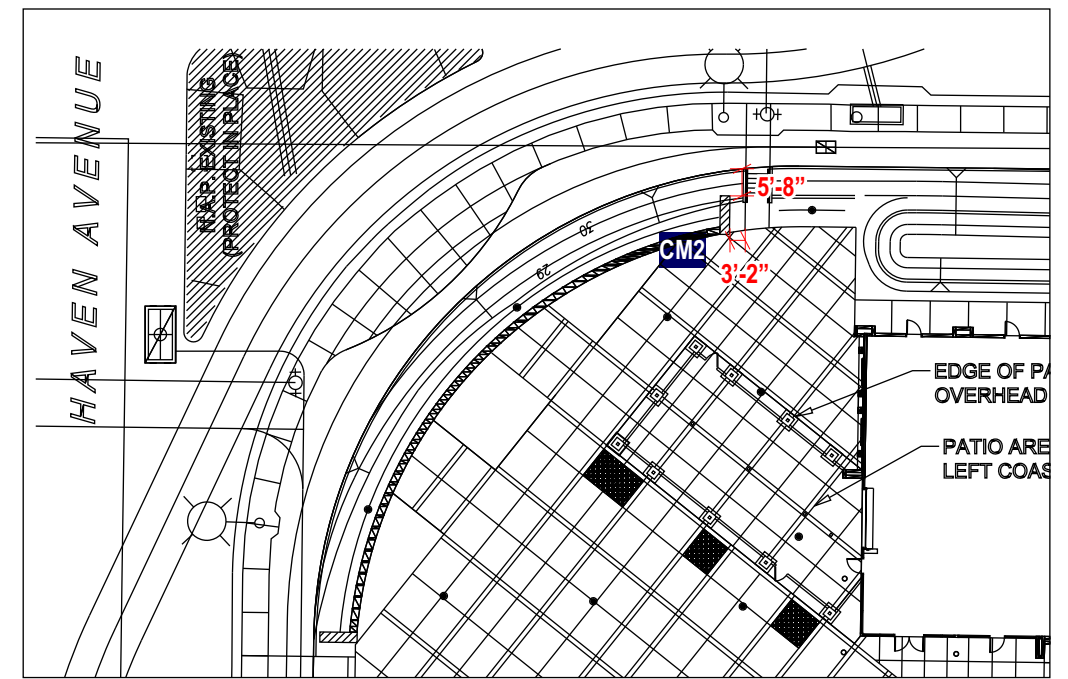
- CABINET: NEW ALUMINUM 2X2X3/16" ALUMINUM ANGLE FRAME WITH .080 BODY FABRICATED CABINET RETURNS TO BE PAINTED TO MATCH CLIENT APPROVED COLORS
- CAP: SMOOTH FINISH TO MATCH VALORI PRECAST "BLANCO"
- FACES: .080 ALUMINUM PAN FACE WITH 1/2" WHITE ACRYLIC PUSH THRU WITH TRANSLUCENT VINYL APPLIED FIRST SURFACE.
- ILLUMINATION: TO BE ILLUMINATED BY 6500K WHITE LED
- BASE: HARDIE BACKER BOARD WITH SANTA BARBARA BROOKSHIRE STONE VENEER.
- FOOTING: FOOTING AND PIPE AS PER ENGINEERING

ALL WIRING AND COMPONENTS TO MEET U.L. STANDARDS



SCALE: 3/8" = 1'-0"

CM2

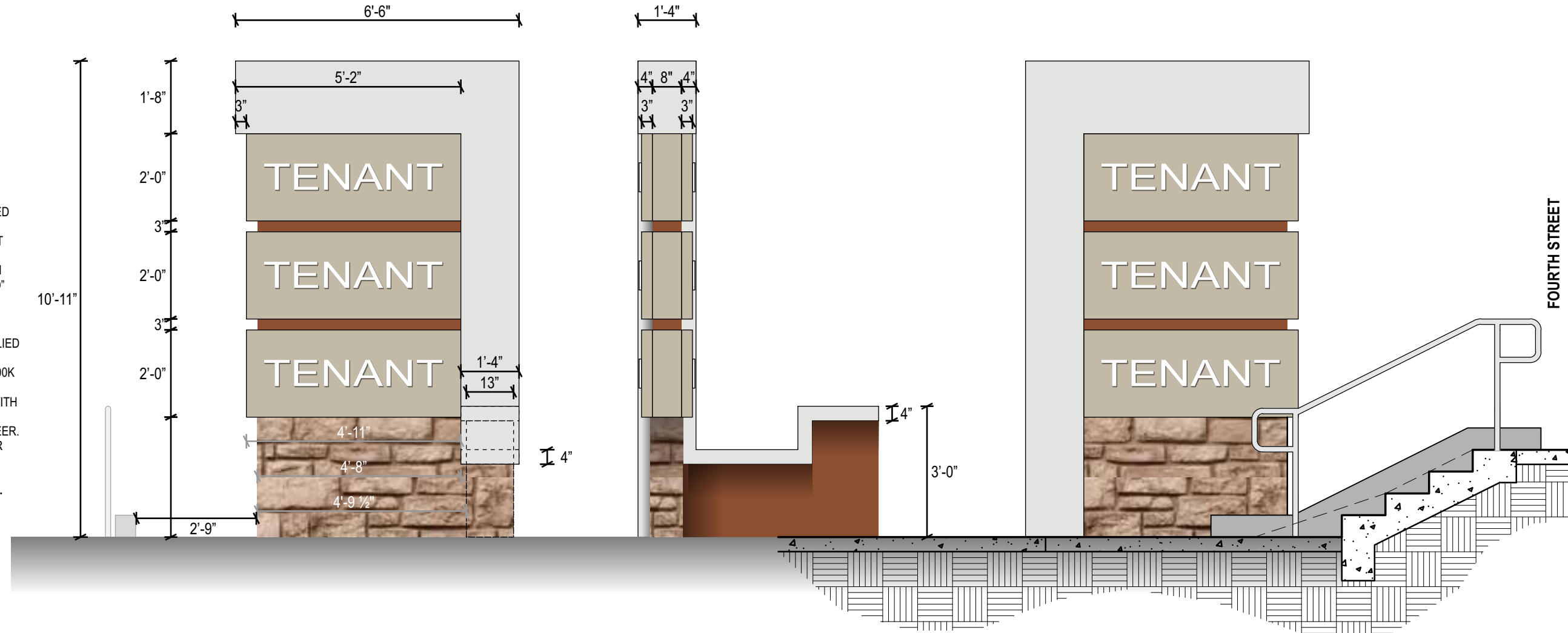


SCALE: 1" = 40'-0"

**Specifications:**

- CABINET: NEW ALUMINUM 2X2X3/16" ALUMINUM ANGLE FRAME WITH .080 BODY FABRICATED. CABINET RETURNS TO BE PAINTED TO MATCH CLIENT APPROVED COLORS.
- CAP: SMOOTH FINISH TO MATCH VALORI PRECAST "BLANCO".
- FACES: .080 ALUMINUM PAN FACE WITH 1/2" WHITE ACRYLIC PUSH THRU WITH TRANSLUCENT VINYL APPLIED FIRST SURFACE.
- ILLUMINATION: TO BE ILLUMINATED BY 6500K WHITE LED.
- BASE: HARDIE BACKER BOARD WITH SANTA BARBARA BROOKSHIRE STONE VENEER.
- FOOTING: FOOTING AND PIPE AS PER ENGINEERING.

ALL WIRING AND COMPONENTS TO MEET U.L. STANDARDS



SCALE: 3/8" = 1'-0"



# The Collection

Ontario, CA

OPTIONAL

M1 M2

## Specifications:

**CABINET:** NEW ALUMINUM 2X2X3/16" ALUMINUM ANGLE FRAME WITH .080 BODY FABRICATED CABINET RETURNS TO BE PAINTED TO MATCH CLIENT APPROVED COLORS

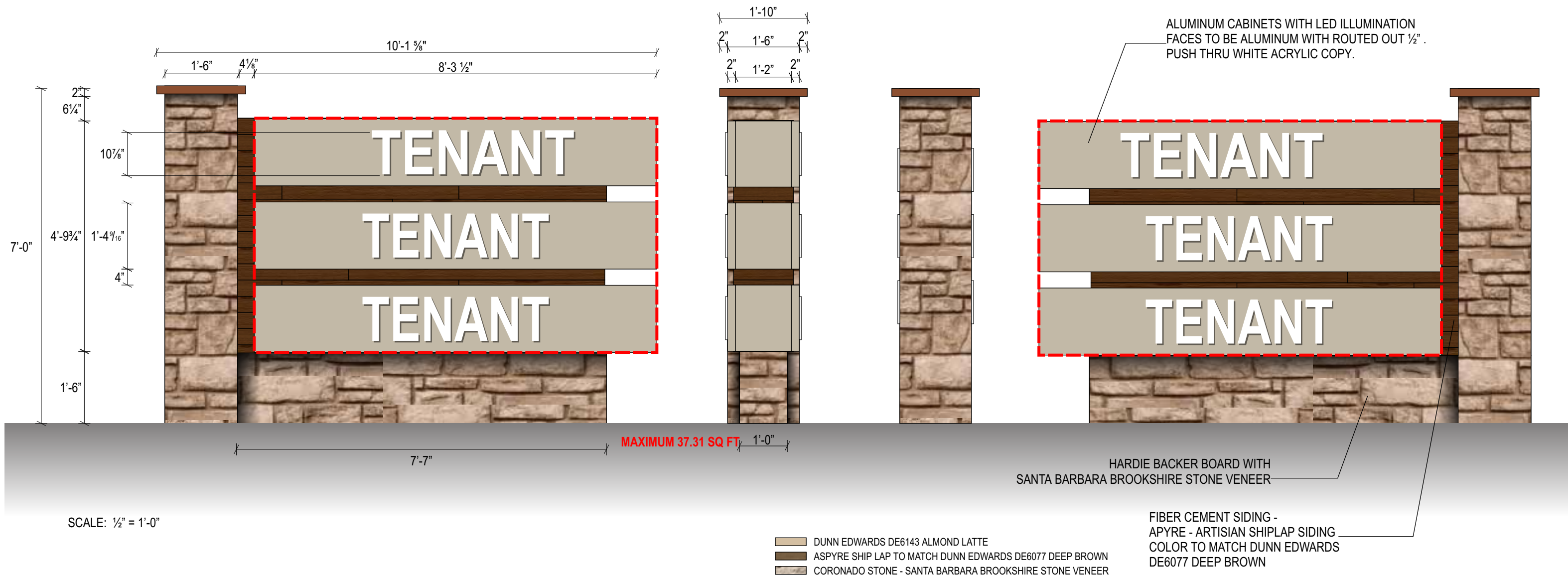
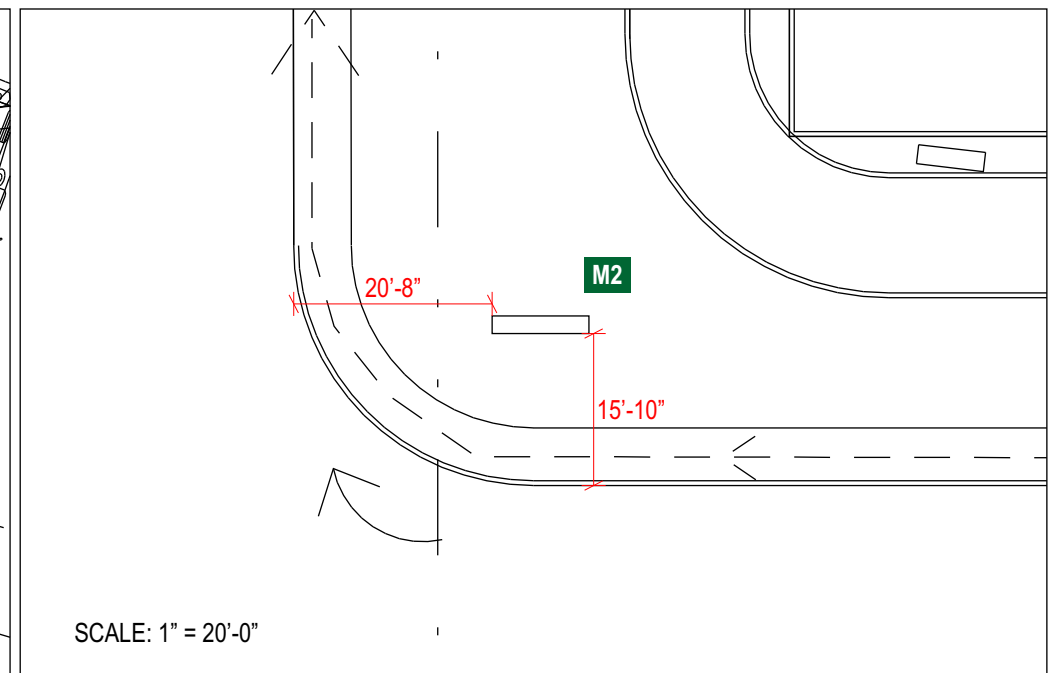
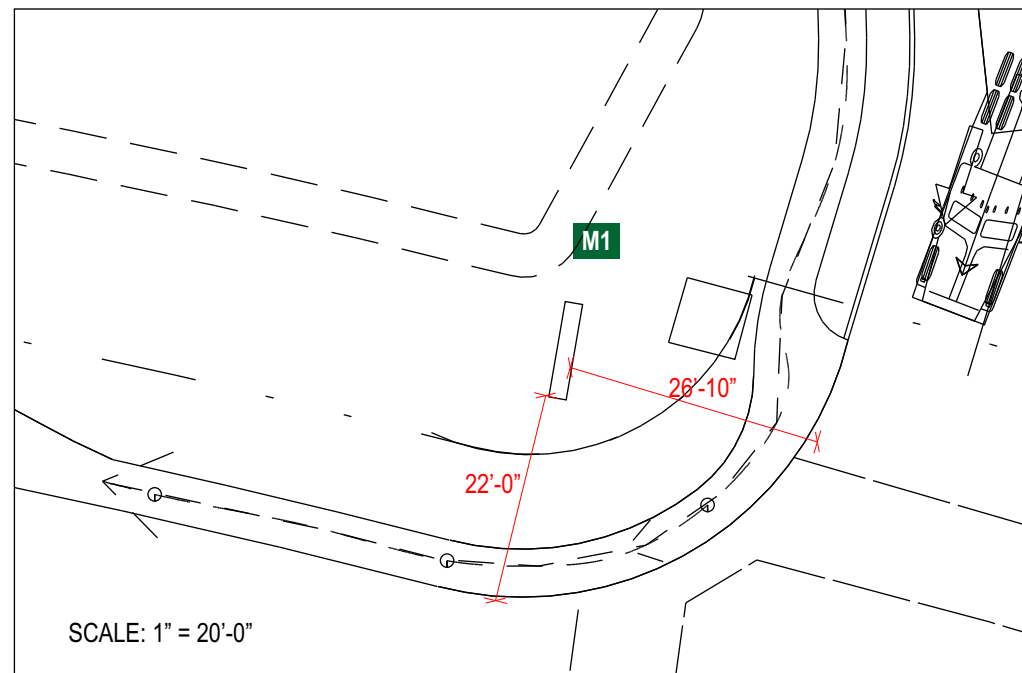
**FACES:** .080 ALUMINUM PAN FACE WITH 1/2" WHITE ACRYLIC PUSH THRU WITH TRANSLUCENT VINYL APPLIED FIRST SURFACE.

**ILLUMINATION:** TO BE ILLUMINATED BY 6500K WHITE LED

**BASE:** SIGN: HARDIE BACKER BOARD WITH SANTA BARBARA BROOKSHIRE STONE VENEER. WALL: HARDIE BACKER WITH TEXTURED SURFACE.

**FOOTING:** FOOTING AND PIPE AS PER ENGINEERING

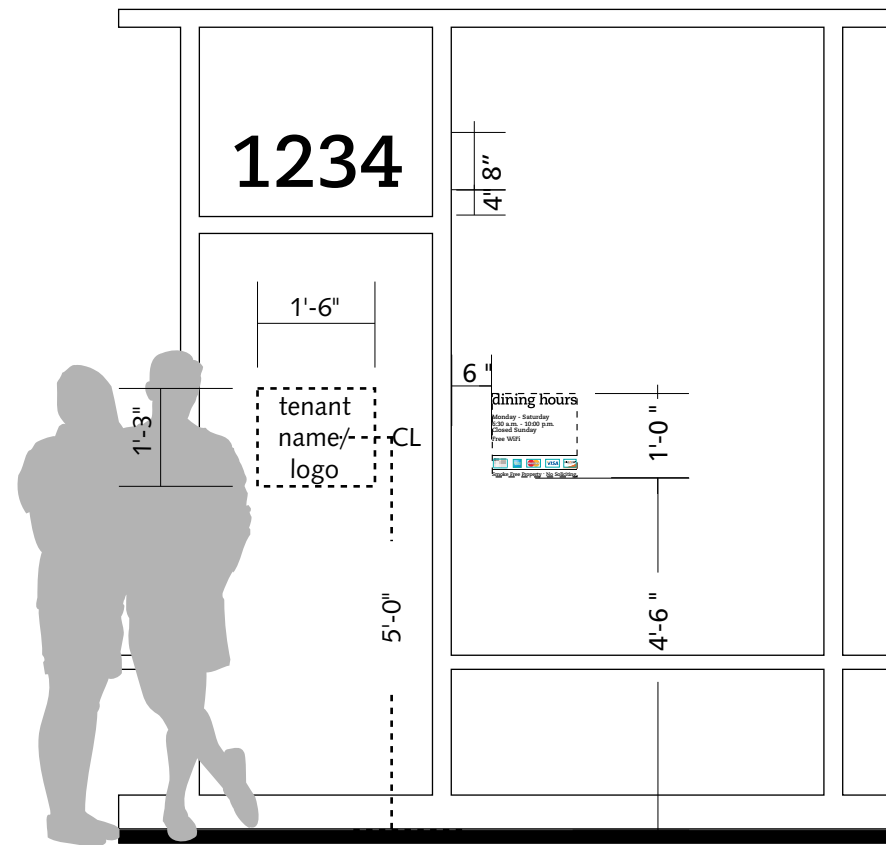
ALL WIRING AND COMPONENTS TO MEET U.L. STANDARDS



## Permanent window and door signage is limited to the following:

### Tenant Entry Information

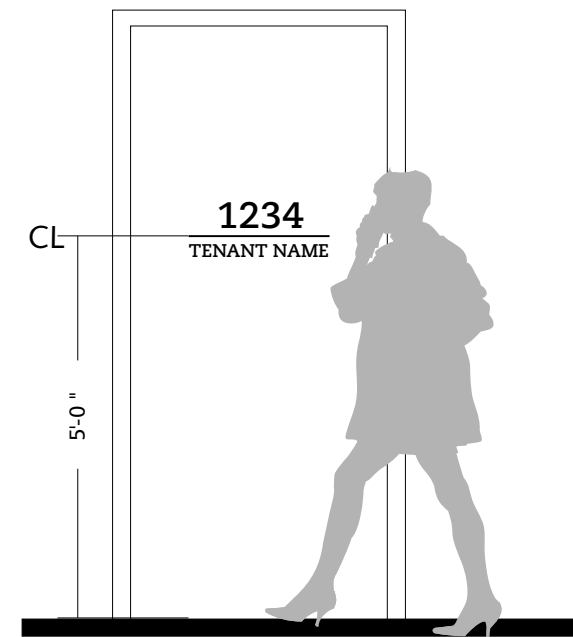
- Materials: Matte white vinyl letters on entry glass.
- Copy: 8" overall height of suite letter or address numerals  
Tenant entry / Hours of operation information 12" x 12"  
Credit card and social media information.
- Sign Area: 3.0 square foot maximum sign area.
- Typeface: Caecilia 55 Roman, Caecilia 75 Bold or other Property Owner approved corporate standard for typeface.
- Location: Address or suite number centered over the main entry door(s).  
Tenant and/or hours of operation on entry glass panel on the same side as door handle or right side, as applicable.



*Typical Elevation*

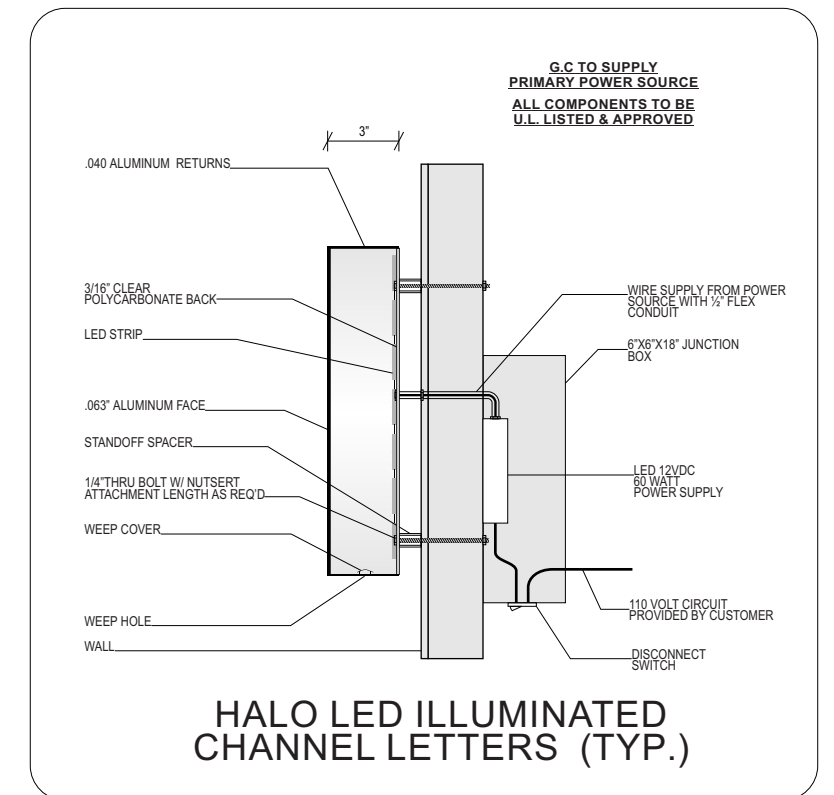
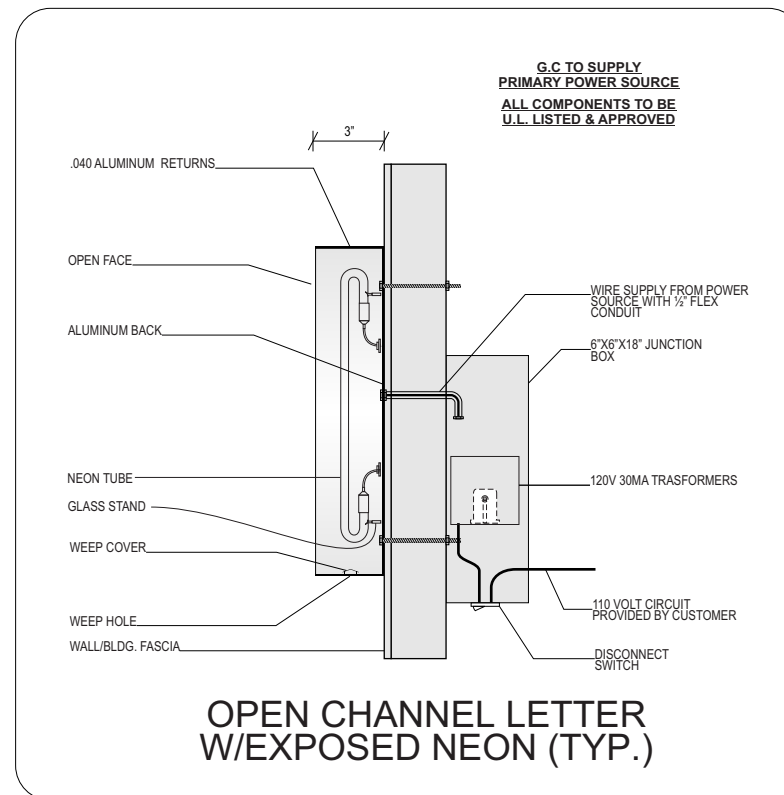
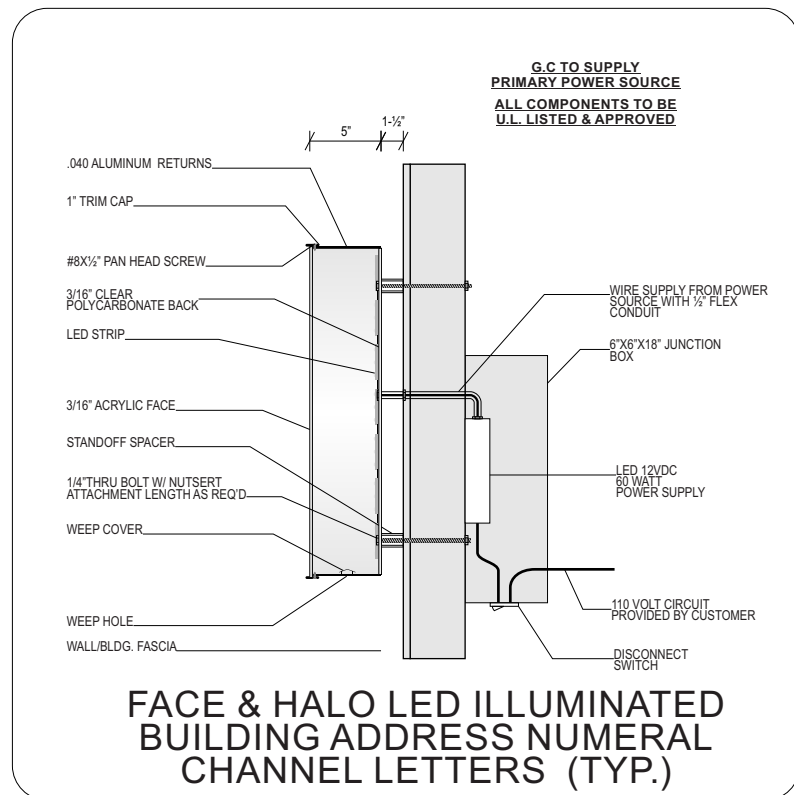
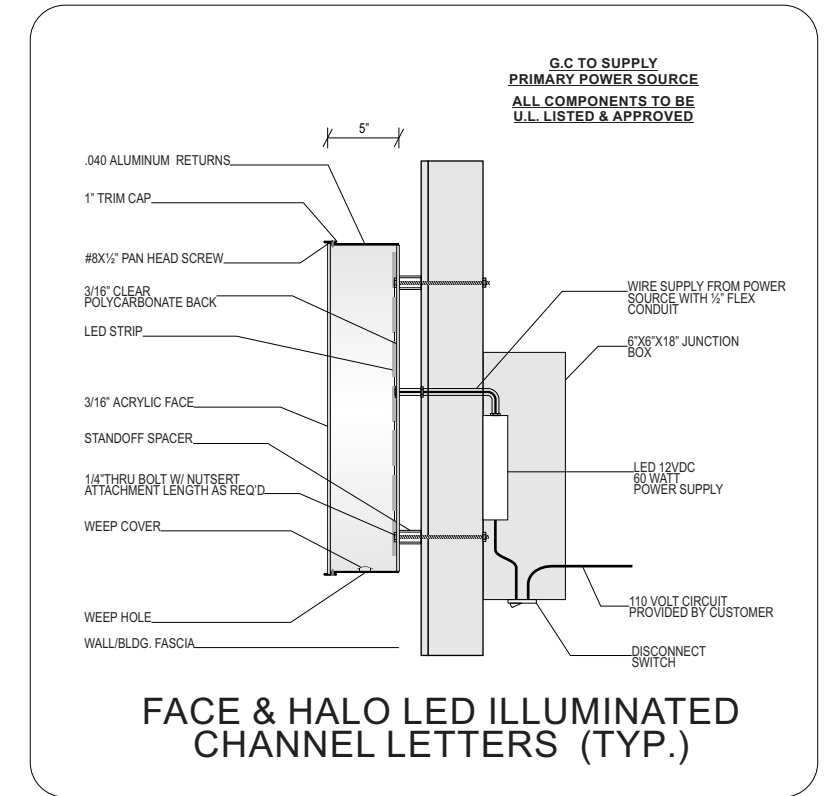
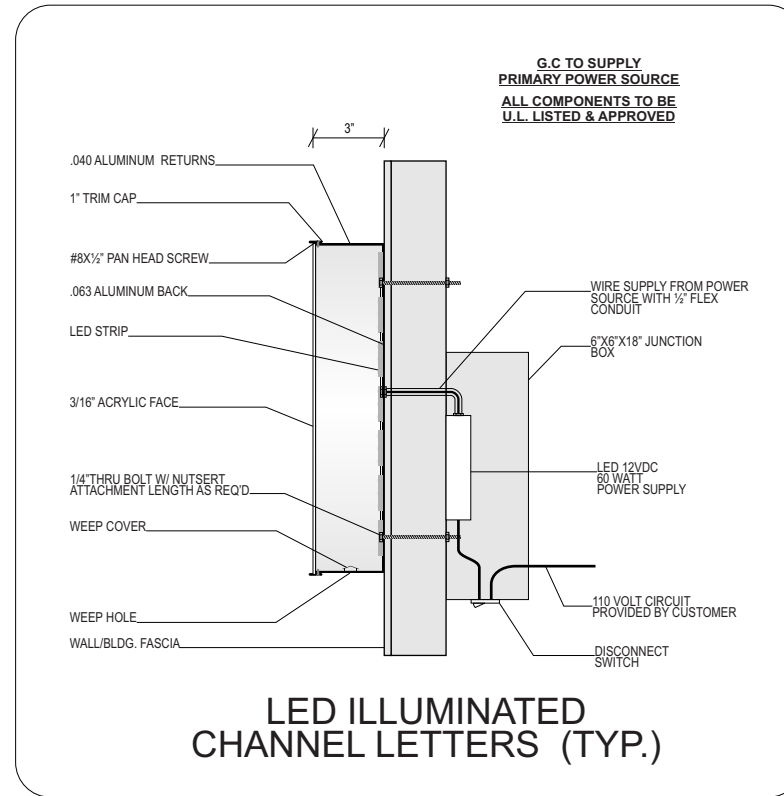
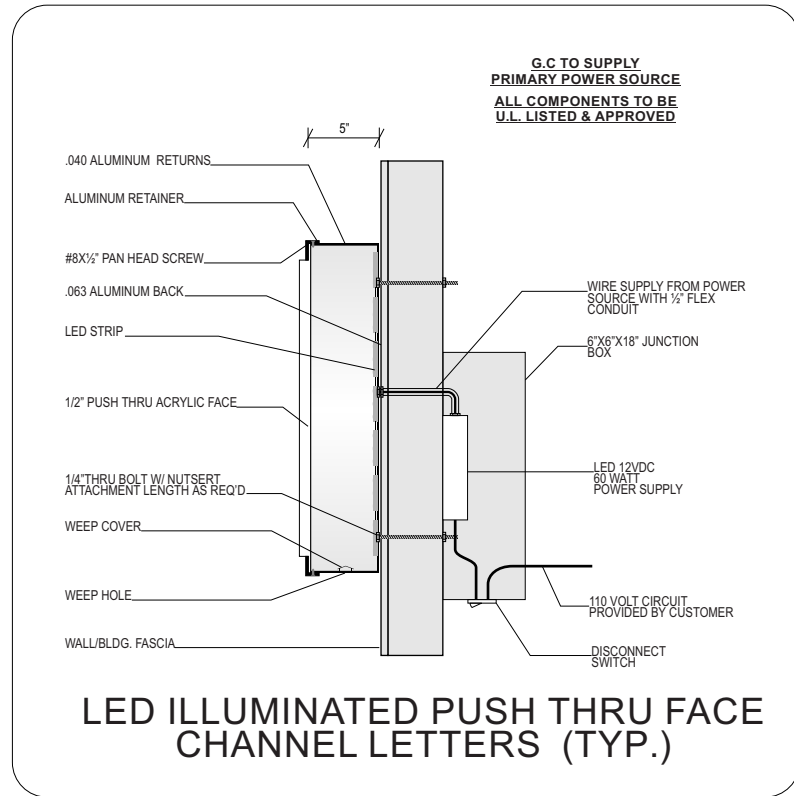
### Rear Entry I.D.

- Materials: Vinyl letters on door in contrasting color.
- Copy: 4" overall height of suite letter or address numerals  
2" high Tenant Name.
- Sign Area: 2.5 square foot maximum sign area.
- Typeface: Caecilia 55 Roman, Caecilia 75 Bold or other Property Owner approved corporate standard for typeface.

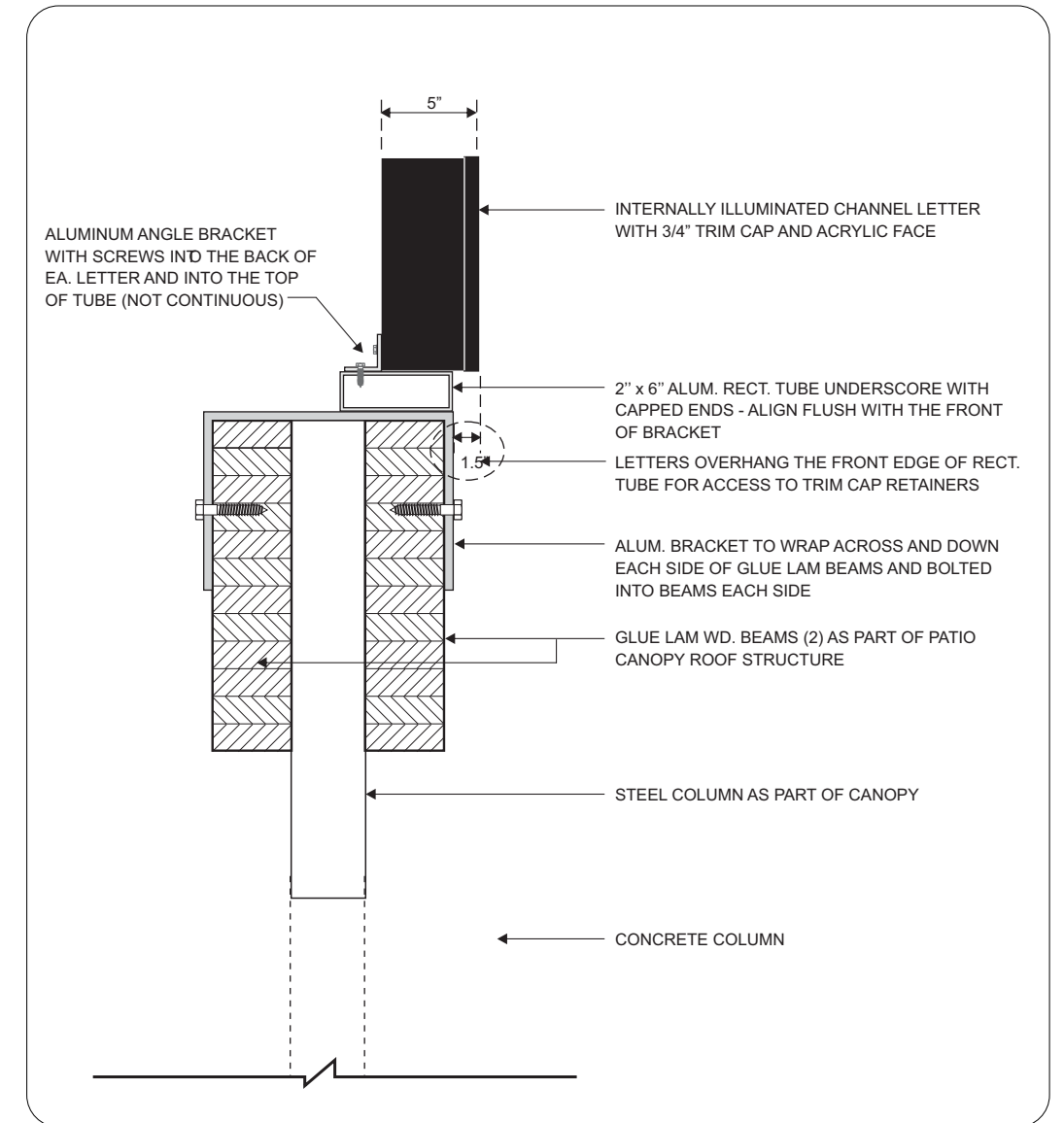
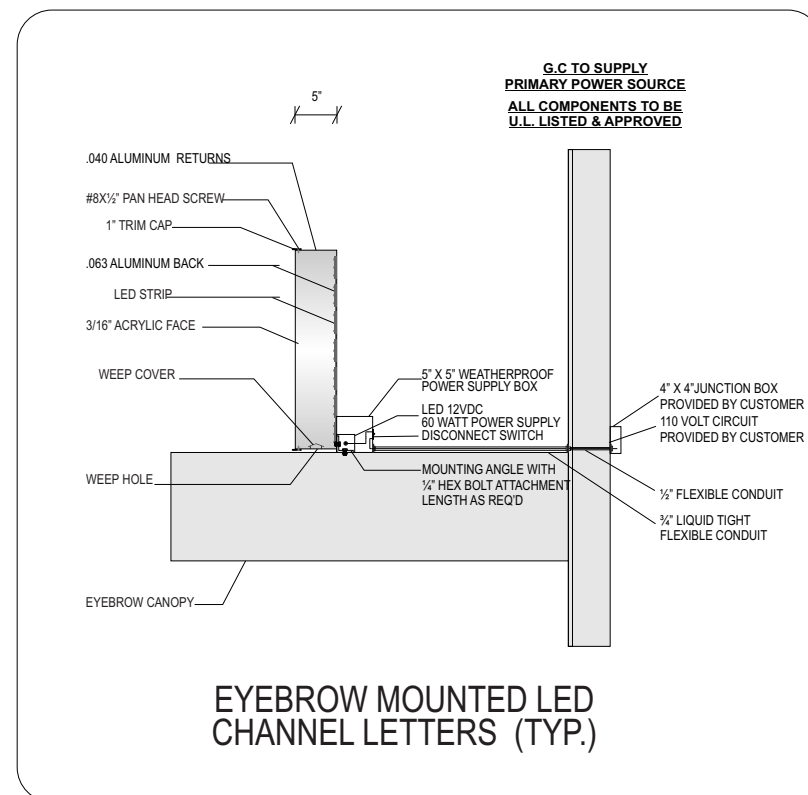
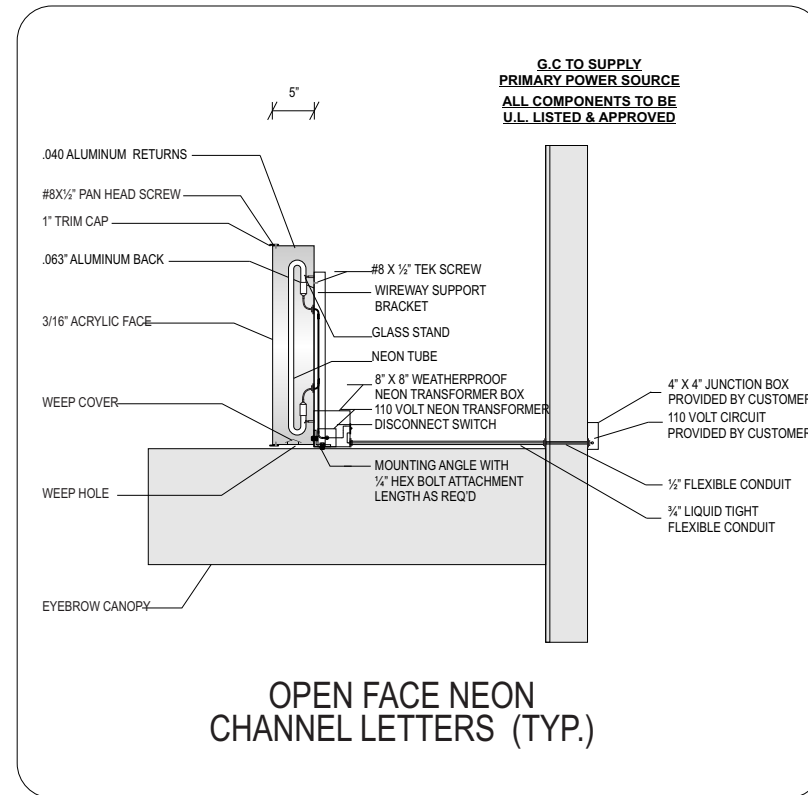
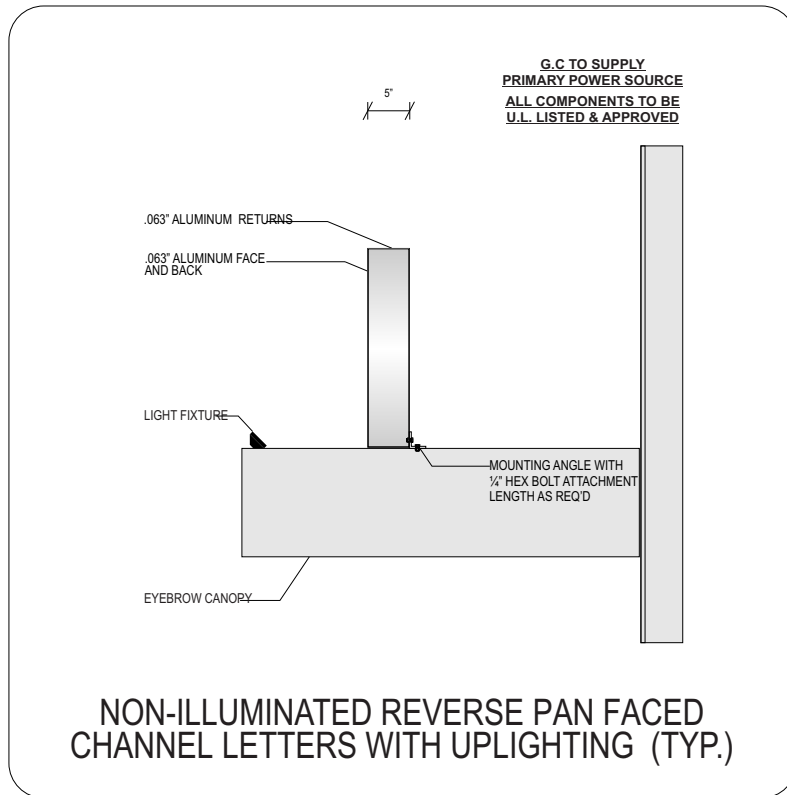


*Typical Elevation*





Examples are provided for illustration purposes only. Other manufacturing methods may be allowed. All signage manufacturers shall provide project specific drawings with section views for approval by both landlord and the City of Ontario.



**PATIO MOUNTED LED  
CHANNEL LETTERS (TYP.)**

Examples are provided for illustration purposes only. Other manufacturing methods may be allowed. all signage manufacturers shall provide project specific drawings with section views for approval by both landlord and the City of Ontario.

# The Collection

Ontario, CA



ILLUMINATED CHANNEL LETTER MOUNTED TO EYEBROW CANOPY (TYP.)



FACE & HALO LED ILLUMINATED BUILDING ADDRESS NUMERAL CHANNEL LETTERS (TYP.)



LED ILLUMINATED CHANNEL LETTERS (TYP.)



FACE & HALO LED ILLUMINATED CHANNEL LETTERS (TYP.)



LED ILLUMINATED CHANNEL LETTERS ON EXPOSED RACEWAY (TYP.)



LED ILLUMINATED PUSH THRU FACE CHANNEL LETTERS (TYP.)



HALO LED ILLUMINATED CHANNEL LETTERS (TYP.)

Examples are provided for illustration purposes only. Other manufacturing methods may be allowed. all signage manufacturers shall provide project specific drawings with section views for approval by both landlord and the City of Ontario.



## BUILDING ADDRESS

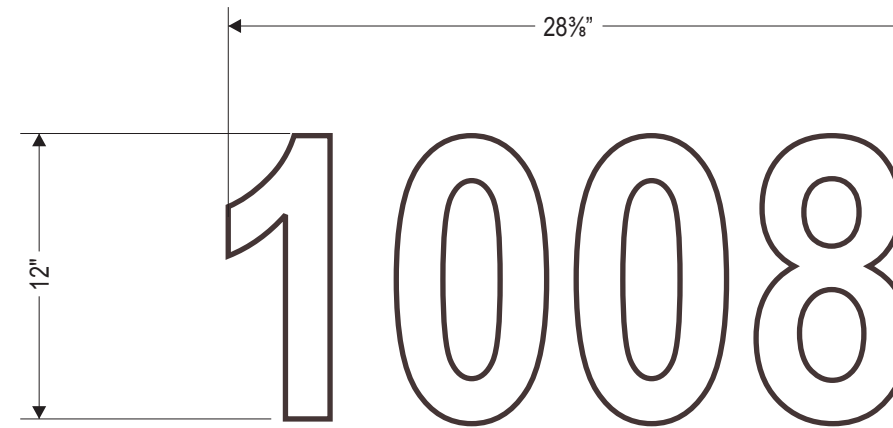
**MATERIALS:** Fabricated aluminum face and halo channel letter numerals  
Faces to be white acrylic and backs to be clear polycarbonate.

**QUANTITY:** TBD

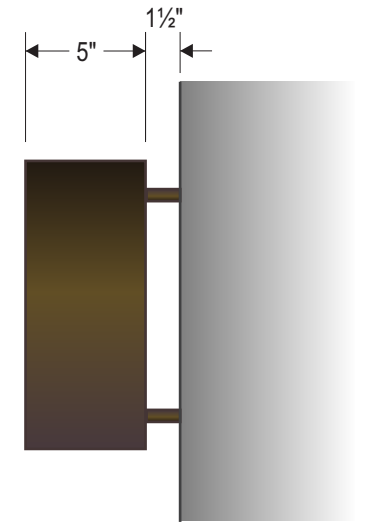
**TYPEFACE:** Arial Narrow

**COLORS:** Pre-coated Duradonic Bronze

**LIGHTING:** LED illuminated



**FRONT VIEW**



**SIDE VIEW**

12" high address  
(final location to be approved by Fire Department)



## Overview

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1. These guidelines are designed to complement architectural elements or themes expressed by the architecture of the buildings within the development. The resulting signage will, by placement, dimensions, and materials, create a common and attractive sign presence within the City of Ontario plan area. The purpose of the following criteria is to establish a coordinated sign program that gives each tenant adequate identification, while achieving a unified and attractive appearance among all lease spaces. In order to maintain the integrity of the criteria and balance among all occupants, deviations from the criteria will not generally be approved.
2. To secure Landlord's approval, the Tenant agrees to conform to the following:
  - a. Provide one (1) electronic copy of the detailed sign design. One to be in full color of the proposed sign(s), submitted to Landlord prior to submitting the designs to the City of Ontario.
  - b. The detailed sign design shall be submitted on sheets no larger than 11" x 17".
  - c. Submit copies to:
    - Lewis retail Centers
    - 1156 N Mountain
    - Upland, CA 91785
    - (909) 949-6790
    - Attn: Arnold Renteria
3. Prior to sign fabrication, the Tenant shall submit drawings of the proposed sign or signs to the City of Ontario per the city requirements. Upon approval, tenant shall provide a copy of the permitted plans to Landlord.
4. The Tenant or the Tenant's sign contractor shall secure a sign permit from the City of Ontario by submitting three (3) copies of fully dimensioned scaled drawings as follows:
  - a. A site plan showing the location of the occupant space on the site.
  - b. A detailed elevation of the Tenant's lease space drawn to scale and showing sign(s) placement and Tenant's space width, showing all colors, materials, dimensions and copy.
  - c. Fabrication and installation details, including structural and engineering data, U.L. electrical specifications.
  - d. Any other drawings, details and information as required by the City of Ontario.
5. All permits for signs and the installation thereof shall be obtained by the Tenant's sign contractor and paid for by the Tenant.
6. All signs and the installation thereof shall comply with all current local zoning, building, and electrical codes.
7. A copy of the signed off permit job card shall be provided to the landlord.

## Submittals and Approval

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There is a formal process for the creation, review, and approval of the Tenant's signs at City of Ontario. All of the Tenant's signage is subject to the Landlord's or their managing agent's written approval. Approval will be granted based on the following:

1. Design, fabrication, and method of installation of all signs shall conform to this sign program.
2. Proposed signage is in harmony with adjacent signage conditions and conforms with the design standards for City of Ontario.

### A. Submittal to Owner:

1. Tenant shall submit one (1) electronic copy or one (1) hard copy of detailed shop drawings to Owner for approval prior to permit submittal or sign fabrication. Submit copies to: Lewis Retail Centers. Sign drawings are to be prepared by a California licensed sign contractor. All signs must conform to the requirements of the City of Ontario.

Submittals shall include the following:

1. Scaled elevation of Tenant's storefront depicting the proposed sign design and all dimensions as they relate to the Tenant's storefront.
2. Fully dimensioned and scaled shop drawings specifying exact dimensions, copy layout, type styles, materials, colors, means of attachment, illumination, electrical specifications, and all others details of construction. Section through letter and/or sign panel showing dimensioned projection of the face of the letter of the sign panel and the illumination.

If the shop drawings are denied, the Tenant must resubmit revised plans until Landlord's approval is obtained. Request to implement signs that vary from the provisions of this sign program shall be submitted to the Landlord's for approval, and then submitted to the Ontario for approval only if approved in writing by the Landlord. The Landlord may approve signs that depart from the specific provisions and constraints of this sign program in order to:

- a. Encourage exceptional design.
- b. Accommodate imaginative, unique and tasteful signs that capture the spirit and intent of this sign program.
- c. Mitigate problems in the application of this sign program.

### B. Submittal to City:

1. The Tenant or their Sign Contractor must submit to the Ontario's Planning and Building Department, and will be responsible for all necessary applications, due diligence, and permit fees as required in order to attain permits.
2. The Tenant and their Sign Contractor will not be permitted to commence installation of the exterior sign unless all of the following conditions have been met:
  - a. A copy of stamped or signed set of final drawings reflecting the Landlord's and the City of Ontario approval shall be on file in the Landlord's office.
  - b. All sign contractors must be fully insured and approved by the Landlord prior to installation. Landlord must receive the sign contractor's certificate of insurance naming the Landlord as additionally insured prior to commencement of any work. Coverage to be a minimum of three million dollars (\$3,000,000) general aggregate of insurance.
  - c. The Landlord must be notified 48 hours in advance prior to the installation of the signs.

### C. Installation:

1. The Tenant's sign contractor shall install permitted signage within 90 days after approval of shop drawings from the Landlord. If the sign(s) are not in place by that date, The Landlord may order sign fabrication and installation on the Tenant's behalf and at the Tenant's expense.

### D. The Tenant's Responsibility:

1. The Landlord may, at their sole discretion and at the Tenant's expense, correct, replace, or remove any sign that is installed without written approval and/or that is deemed unacceptable pertaining to this sign program
2. If the Tenant chooses to change their exterior sign at anytime during the term of their lease, the Tenant must comply with the requirements set forth herein for any future modifications, revisions, or changes which have been made to sign program for this center after the execution of their lease agreement.
3. The Tenant shall be ultimately responsible for the fulfillment of all requirements and specifications, include those of the Landlord, City, UL, and the Uniform Electrical Code.
4. Tenant shall be responsible for all expenses relating to any signage for their store, including but not limited to:
  - a. Design consultant fees (if applicable)
  - b. 100% of the permit processing cost and application fees.
  - c. 100% of the costs for sign fabrication and installation including review of shop drawings and patterns.
  - d. All costs relating to sign removal, including repair of any damage to the building.

## **Construction Requirements**

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1. All signs and their installation shall comply with all local building and electrical codes.
2. All electrical signs will be fabricated by a U.L. approved sign company in accordance with U.L. specifications and bear the U.L. label.
3. The sign contractor is to be fully licensed with the City of Ontario and California and shall carry full Workman's Compensation and General Liability insurance.
4. All penetrations of the building exterior surfaces are to be sealed and waterproofed in a color and finish to match existing exterior.
5. Internal illumination to be L.E.D. installed and labeled in accordance with the "National Electrical Code".
6. All painted surfaces are to have glossy or satin finish. Only paint containing acrylic or polyurethane products may be used.
7. All Logo and letter heights shall be specified and shall be determined by measuring the normal capital letter of a type font.
8. All sign fabrication shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Lettering that approximates type styles will not be acceptable. The Landlord reserves the right to reject any fabrication work deemed to be below standards.
9. All lighting must match the exact specifications of the Landlord approved working drawings. No exposed conduit or raceways will be allowed.
10. All signs must be made of a durable rust-inhibiting material that is appropriate and complimentary to the building.
11. Color coating shall match the colors specified on the approved plans exactly.
12. Joining materials (e.g., seams) shall be finished in a way as to be unnoticeable to the public eye. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable.
13. Finished surfaces of metal shall be free from oil canning or warping. All sign finishes shall be free from dust, orange peeling, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.
14. In no case shall any manufacturer's label be visible from the street or from normal viewing angles.
15. Exposed raceways are not permitted unless they are incorporated into the overall sign design.
16. Exposed junction boxes, lamps, tubing, or neon crossovers of any type are not permitted.
17. All exposed raceways, conduits, or wireways that are installed on rock background, corrugated metal and/or back of parapets to be painted a specific color to be approved by the architect or Landlord.
18. Premises identification signs (address numerals) are subject to the approval of the City Engineering and Fire Department.
19. Construction hours shall be limited to Monday through Saturday, 8:00 am to 5:00 pm, no construction may occur on Sundays or legal holidays, as per the Piemonte Ontario Project/Code Requirements.

## **All Companies Bidding to Manufacture**

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1. All companies bidding to manufacture and install any of the Tenant's signs are advised that no substitutes will be accepted by the Landlord whatsoever, unless so indicated in the specifications which are approved in writing by the Landlord. Signs that deviate from these criteria without such approval must be removed at the Tenant's expense.
2. The Tenant's sign fabrication and installation company shall carry Worker's Compensation and General Liability Insurance against all damage suffered to any and all persons and/or property while engaged in the construction or erection of signs in the amount of three million dollars (\$3,000,000) general aggregate of insurance.
3. The Tenant's sign contractor shall completely erect and connect (including all wiring) the Tenant's sign in accordance with these criteria and all local zoning, building and electrical codes.

## Sign Types

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Creative and imaginative signage is strongly encouraged and will be subject to Landlords review and approval of all sign design submittals.

There are many acceptable sign treatments, however, a mixed media three-dimensional approach combining several different fabrication and lighting techniques is preferred.

Tenants are strongly encouraged to consider the specific architectural style of their facade, the overall concept of the project, the scale of the proposed sign, and the critical viewing angles and sight lines when designing appropriate graphics and signs for the storefront. Note that specific locations and surrounding architectural treatments can limit the maximum sign height and length, which may differ from the general guidelines proposed in this document. The Landlord reserves the right to approve or reject any proposed sign on the basis of its size and placement.

Acceptable sign styles may include:

1. 5" deep face and halo illuminated channel letters.
2. 5" deep face illuminated channel letters.
3. 3" deep halo illuminated letters.
4. 3" deep open face channel letters with exposed neon (at Landlord's discretion).
5. 3" deep face illuminated channel letters.
6. Mixed media 3 dimensional signs using images, icons, logos, etc.
7. Neon accents will be approved at the sole discretion of the Landlord and should be proposed only if it is a part of the overall Tenant design concept.
8. Sand blasted, textured and/or burnished metal-leaf faced dimensional letters, pin mounted from facade.
9. Signs mounted to hard canopies, eyebrows, or other projecting architectural elements.
10. Screens, grids, or mesh; Etched, polished, patina or abraded materials.

For Example:

- a. Prismatic face letter forms with full facet strokes.
- b. Rounded face letter forms with radius faces and eased edges.
- c. Layered letter forms with face and liner. Letter face must be at least one (1) inch thick and the liner must be a minimum of 1/2" inch thick.

Notes:

Mixed media signs are signs employing two or more illumination and fabrication methods (for example, halo lit reverse channel letters with exposed neon accents).

Although simple rectangular cabinet signs are generally not allowed, mixed media signs may be composed of several elements, one of which may be a cabinet. Sculpted, contoured or rectangular cabinets are strongly encouraged. However, the cabinet sign should not exceed 50% of the total sign area.

With the Landlord's approval, complex shaped (i.e. polyhedron) sign cabinets may be used alone if they incorporate dimensional elements such as push-thru letters and/or exposed neon.

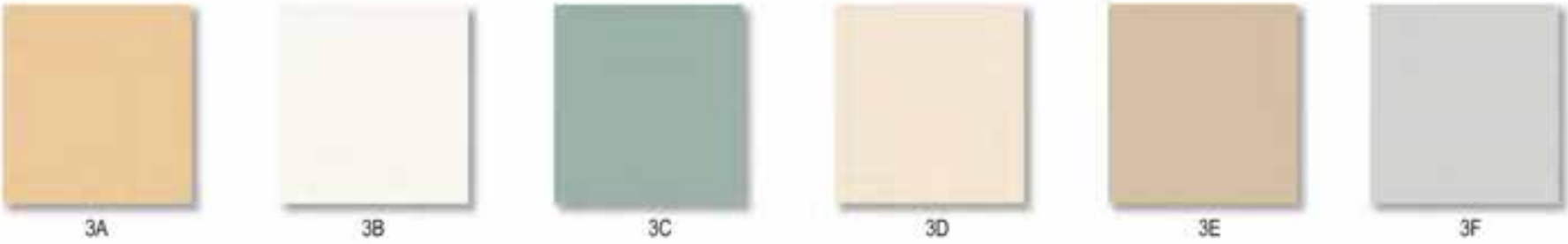
## Miscellaneous Restrictions

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1. Hours of Business and Telephone Numbers: Limited to no more than three (3) square feet or less than 10% of window area, whichever is less, for each business frontage with a customer entrance.
2. Animated, flashing or audible signs will not be permitted
3. Lettering painted directly on the building surface, including windows will not be permitted.
4. Projections above or below designated sign area will not be permitted.
5. Temporary signs shall be subject to Landlord review and approval and comply with city code requirements.
6. Sign cabinets (except logo elements) are not allowed.
7. Any item not addressed in this sign criteria shall be governed by the Piemonte Comprehensive Sign Program and/or Ontario Development Code, and must be approved in writing by the Landlord.



FOR REFERENCE ONLY



- 1A FIBER CEMENT BOARD - ASPHRE - ARTISAN SHIP LAP BOARD. COLOR TO MATCH SUNN EDWARDS DESIGN DNC BRICK
- 1B FIBER CEMENT BOARD - ASPHRE - ARTISAN SHIP LAP BOARD. COLOR TO MATCH SUNN EDWARDS DESIGN BURST OF GOLD
- 2A HARDIE BACKER BOARD WITH SANTA BARBARA BROOKSHIRE STONE VENEER
- 2B CORONADO STONE - INDUSTRIAL LEDGE - "SHALE GREY"
- 3A FINISH COLOR. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA. COLOR TO MATCH SUNN EDWARDS DESIGN MOUND TAN
- 3B FINISH COLOR. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA. COLOR TO MATCH SUNN EDWARDS DESIGN WHITE
- 3C FINISH COLOR. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA. COLOR TO MATCH SUNN EDWARDS DESIGN FRESH COCO ICE CREAM
- 3D FINISH COLOR. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA. COLOR TO MATCH SUNN EDWARDS DESIGN ANCIENT LIME
- 3E FINISH COLOR. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA. COLOR TO MATCH SUNN EDWARDS DESIGN ALMOND LATTE
- 3F FINISH COLOR. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA. COLOR TO MATCH SUNN EDWARDS DESIGN SILVER SPOON
- 4A METAL CANOPY - ZINC GREY BY BERTRIDGE
- 4B METAL CANOPY - SHASTA WHITE BY BERTRIDGE
- 5 CLEAR GLAZING
- 6 DECORATIVE ACCENT LIGHT
- 7 VINEAGE ESPALIERS "GREENHOUSE" WALL HUNG TRELLIS PANELS
- 8 ARCADIAN ANCOILED CLEAR GLAZING STOREFRONT SYSTEM

# The Collection

Ontario, CA

