

CITY OF ONTARIO PLANNING COMMISSION/ HISTORIC PRESERVATION MEETING AGENDA

September 22, 2015

Ontario City Hall
303 East "B" Street, Ontario, California 91764

6:30 P.M.

WELCOME to a meeting of the Ontario Planning/Historic Preservation Commission.

All documents for public review are on file in the Planning Department located at 303 E. B Street, Ontario, CA 91764.

- *Anyone wishing to speak during public comment or on a particular item should fill out a green slip and submit it to the Secretary.*
- *Comments will be limited to 5 minutes. Speakers will be alerted when their time is up. Speakers are then to return to their seats and no further comments will be permitted.*
- *In accordance with State Law, remarks during public comment are to be limited to subjects within the Commission's jurisdiction. Remarks on other agenda items will be limited to those items.*
- *Remarks from those seated or standing in the back of the chambers will not be permitted. All those wishing to speak including Commissioners and Staff need to be recognized by the Chair before speaking.*
- *The City of Ontario will gladly accommodate disabled persons wishing to communicate at a public meeting. Should you need any type of special equipment or assistance in order to communicate at a public meeting, please inform the Planning Department at (909) 395-2036, a minimum of 72 hours prior to the scheduled meeting.*
- *Please turn off all communication devices (phones and beepers) or put them on non-audible mode (vibrate) so as not to cause a disruption in the Commission proceedings.*

ROLL CALL

Delman __ Downs __ Gage __ Gregorek __ Mautz __ Ricci __ Willoughby __

PLEDGE OF ALLEGIANCE TO THE FLAG

ANNOUNCEMENTS

- 1) Agenda Items
- 2) Commissioner Items

PUBLIC COMMENTS

Citizens wishing to address the Planning/Historic Preservation Commission on any matter that is not on the agenda may do so at this time. Please state your name and address clearly for the record and limit your remarks to five minutes.

Please note that while the Planning/Historic Preservation Commission values your comments, the Commission cannot respond nor take action until such time as the matter may appear on the forthcoming agenda.

CONSENT CALENDAR ITEMS

All matters listed under CONSENT CALENDAR will be enacted by one summary motion in the order listed below. There will be no separate discussion on these items prior to the time the Commission votes on them, unless a member of the Commission or public requests a specific item be removed from the Consent Calendar for a separate vote. In that case, the balance of the items on the Consent Calendar will be voted on in summary motion and then those items removed for separate vote will be heard.

A-01. MINUTES APPROVAL

Planning/Historic Preservation Commission Minutes of August 25, 2015, approved as written.

- A-02. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN FOR FILE NO. PDEV15-008:** A Development Plan to construct an approximate 24,800 square-foot industrial building, on approximately 1.12-acres of vacant land, located on the southeast corner of Francis Street and Bon View Avenue, at 926 East Francis Street, within the M2 (Industrial Park) zone. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). The project is categorically exempt from environmental review pursuant to State CEQA Guidelines Section 15332 (In-Fill Development Projects). (APNs: 1050-461-03, 1050-461-05, and 1050-461-06); **submitted by: On Bon View, LLC.**

PLANNING COMMISSION PUBLIC HEARING ITEMS

For each of the items listed under PUBLIC HEARING ITEMS, the public will be provided an opportunity to speak. After a staff report is provided, the chairperson will open the public hearing. At that time the applicant will be allowed five (5) minutes to make a presentation on the case. Members of the public will then be allowed five (5) minutes each to speak. The Planning Commission may ask the speakers questions relative to the case and the testimony provided. The question period will not count against your time limit. After all persons have spoken, the applicant will be allowed three minutes to summarize or rebut any public testimony. The chairperson will then close the public hearing portion of the hearing and deliberate the matter.

- B. ENVIRONMENTAL ASSESSMENT AND CONDITIONAL USE PERMIT FOR FILE NO. PCUP14-028:** A Conditional Use Permit to establish a metal salvage and scrap yard recycling facility on a 2.38 acre site, located at 901 South Sultana Avenue, within the M3 (General Industrial) zoning district. Pursuant to the California Environmental Quality Act, staff is recommending the adoption of a Mitigated Negative Declaration of environmental effects for the project. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 1049-353-14); **submitted by Star Scrap Metal.**

1. CEQA Determination

Motion to Approve/Deny Mitigated Negative Declaration

2. File No. PCUP14-028 (Conditional Use Permit)

Motion to Approve/Deny

- C. ENVIRONMENTAL ASSESSMENT AND TENTATIVE PARCEL MAP REVIEW FOR FILE NO. PMTT15-002:** A Parcel Map (PM 19646) to subdivide a 1.85 acre parcel of land into a single parcel for condominium purposes, located at 921 North Milliken Avenue, within the Garden Commercial land use district of The Ontario Center Specific Plan. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15315 (Minor Land Divisions) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 210-501-23); **submitted by OA Partners, LLC.**

1. Item Continued

Motion to Approve/Deny

MATTERS FROM THE PLANNING/HISTORIC PRESERVATION COMMISSION

- 1) Old Business
 - Reports From Subcommittees
 - Historic Preservation (Standing):
- 2) New Business
- 3) Nominations for Special Recognition

DIRECTOR'S REPORT

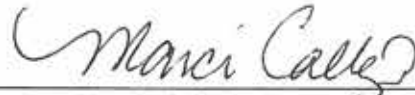
- 1) Monthly Activity Report

If you wish to appeal any decision of the Planning/Historic Preservation Commission, you must do so within ten (10) days of the Commission action. Please contact the Planning Department for information regarding the appeal process.

If you challenge any action of the Planning/Historic Preservation Commission in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning/Historic Preservation Commission at, or prior to, the public hearing.



I, Marci Callejo, Administrative Assistant, of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on **Thursday, September 17, 2015** at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East "B" Street, Ontario.



Marci Callejo, Secretary Pro Tempore



Scott Murphy, Planning Director
Planning/Historic Preservation
Commission Secretary

**CITY OF ONTARIO PLANNING COMMISSION/
HISTORIC PRESERVATION MEETING**

MINUTES

August 25, 2015

<u>CONTENTS</u>	<u>PAGE</u>
PLEDGE OF ALLEGIANCE.....	2
ANNOUNCEMENTS.....	2
PUBLIC COMMENTS.....	2
CONSENT CALENDAR	
A-01. Minutes of July 28, 2015	2
PUBLIC HEARINGS	
B. File No. PZC15-001	3
C. File Nos. PDEV15-001, PMTT15-001 and PVAR15-001	4
MATTERS FROM THE PLANNING COMMISSION.....	6
DIRECTOR’S REPORT.....	6
ADJOURNMENT	6

**CITY OF ONTARIO PLANNING COMMISSION/
HISTORIC PRESERVATION MEETING**

MINUTES

August 25, 2015

REGULAR MEETING: City Hall, 303 East B Street
Called to order by Chairman Willoughby at 6:30 p.m.

COMMISSIONERS

Present: Chairman Willoughby, Delman, Gage, Gregorek, Mautz, and Ricci

Absent: Downs

OTHERS PRESENT: Planning Director Murphy, City Attorney Rice, Principal Planner Zeledon, Senior Planner Mercier, Senior Planner Mullis, Associate Planner Burden, Assistant City Engineer Lee, and Planning Secretary Callejo

PLEDGE OF ALLEGIANCE TO THE FLAG

The Pledge of Allegiance was led by Commissioner Gage.

ANNOUNCEMENTS

No one responded from the audience.

PUBLIC COMMENTS

No one responded from the audience.

CONSENT CALENDAR ITEMS

A-01. MINUTES APPROVAL

Planning/Historic Preservation Commission Minutes of July 28, 2015, approved as written.

It was moved by Mautz, seconded by Ricci, to approve the Planning Commission Minutes of July 28, 2015, as written. The motion was carried 5 to 0 with Willoughby abstaining.

PLANNING COMMISSION ACTION

PUBLIC HEARING ITEMS

- B. ENVIRONMENTAL ASSESSMENT AND ZONE CHANGE REVIEW FOR FILE NO. PZC15-001:** A request to change the zoning on 3 parcels, totaling 1.4 acres, from R1 (Single Family Residential) to HDR-45 (High Density Residential) and to change 11 parcels, totaling 3.25 acres, from R2 (Medium Density Residential) to HDR-45 (High Density Residential), located on Fourth Street between Baker and Corona Avenues from 1673 to 1733 E. Fourth Street. Staff is recommending the adoption of an Addendum to an Environmental Impact Report (State Clearinghouse No. 2008101140) adopted by City Council on January 27, 2010 in conjunction with File No. PGPA06-001. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 0108-551-01, 06-09, 34-35, and 44-50); **submitted by Dayu Capital, Inc. and City initiated. City Council action is required.**

Associate Planner, Clarice Burden, presented the staff report. She began stating that the City of Ontario is undergoing an effort to bring the zoning into conformance with the General Plan. However, that effort has not yet reached this area. The applicant has filed an application for a zone change for three properties. As staff researched the area, it was decided to include a larger area since there were both R1 and R2 areas in this vicinity. On July 8, 2015, staff held an Open House to notify the property owners in the surrounding area and to get input and from those in attendance. There were about 12 people in attendance at the meeting and some questioned if they would be able to keep their houses, other concerns were expressed and the zone change was explained. Overall, no one had objections about the zone change proposal. Ms. Burden stated that staff is recommending the Planning Commission recommend File No. PZC15-001, pursuant to the facts and reasons contained in the staff report and attached resolution making it in conformance to the General Plan.

Mr. Gage asked a question regarding the Open House. He wanted to know what the response was to the individual questioning if they would be able to keep their house.

Ms. Burden said they would be able to keep their house. The changing of the zoning will ultimately recycle the homes, but until the time comes when anyone wants to sell, they will be able to keep their houses. They are allowed to stay for as long as they want to.

Mr. Gage asked if their zoning would be “grandfathered” in and they would not have to move.

Ms. Burden confirmed they do not have to move and the density increase does not have to happen at this time.

Mr. Willoughby asked for clarification about the rezoning. He wants to know that if the current owner’s sale and new owners purchase the home/property, they can keep it as a single family residence.

Ms. Burden confirmed that it would have a new zoning, but further explains that ultimately a developer might come in and develop higher density properties. But these homes can remain.

PUBLIC TESTIMONY

Danny Tan, the applicant appeared before the Commission. He stated that he bought this

property because it is really a nice location and it was good for a housing development. He is hoping for a condo project, which would be good with the school in the area.

Jason Mak, owner of the Casa Corona Apartments came to speak in support of the zone change. His family has owned the apartments for 12 years and believes the zone change and any other forward development for residential apartments would be a benefit to the area. Mr. Mak said that as a neighbor, he definitely speaks in support of the zone change.

As there was no one else wishing to speak, Chairman Willoughby closed the public testimony

Mr. Gage stated that this zone change was straight forward and would make it to comply with the longer range plan - The Ontario Plan. He didn't see any long term negative effect in making it a higher density area.

Mr. Willoughby thought with the upcoming development at Fourth and Vineyard this would only help revitalize this area and thought things were moving in the right direction.

Before the vote is taken, Mr. Murphy made a correction on the CEQA resolution. The title should read "recommendation to approve", rather than "approves" since this item is going to City Council. Chairman Willoughby noted the change and continued.

PLANNING COMMISSION ACTION

It was moved by Mautz, seconded by Gregorek, to recommend approval of an Addendum of an Environmental Impact, Roll call vote: AYES, Delman, Gage Gregorek, Mautz, Ricci, and Willoughby; NOES, none; RECUSE, none; ABSENT, none. The motion was carried 6 to 0.

It was moved by Delman, seconded by Gage, to recommend approval of a resolution to approve the Zone Change. Roll call vote: AYES, Delman, Gregorek, Mautz, Ricci, Willoughby, and Gage; NOES, none; RECUSE, none; ABSENT, none. The motion was carried 6 to 0.

- C. **ENVIRONMENTAL ASSESSMENT, TENTATIVE PARCEL MAP, DEVELOPMENT PLAN, AND VARIANCE REVIEW FOR FILE NOS. PDEV15-001, PMTT15-001 (PM 19650) & PVAR15-001**: A Tentative Parcel Map (File No. PMTT15-001 / PM 19650) to subdivide approximately 5.11 acres of land into 3 parcels, a Development Plan (File No. PDEV15-001) to construct 3 buildings totaling 103,637 square feet on the proposed lots, and a Variance (File No. PVAR15-001) to deviate from the minimum Archibald Avenue setback, from 35 feet to 10 feet, located at the northeast corner of Archibald Avenue and Mission Boulevard, within the Business Park land use district of the Airport Business Park (Hofer Ranch) Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with an amendment to the Airport Business Park (Hofer Ranch) Specific Plan (File No. PSPA04-001), for which a Mitigated Negative Declaration was adopted by the City of Ontario City Council on June 7, 2005. This Application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 0211-261-17); **submitted by Orbis Real Estate Partners, LLC.**

Senior Planner, Chuck Mercier, presented the staff report. He began stating that the project covers approximately 5 acres of vacant land on the north east corner of Archibald Avenue and Mission Blvd. within the Business Park land use district of the Airport Business Park Specific Plan. The applicant requests a Variance to construct 3 industrial buildings intended to house small warehouse distribution centers. The Variance will allow for a reduction in the minimum setback along Archibald Avenue property line from 35 feet to 10 feet due to the widening of the street right away and corresponding deduction of lot depth necessary to accommodate the future construction of an overpass at the Union Pacific Railroad right away, which runs parallel to Mission Boulevard. Mr. Mercier explained the proposed buildings will be of concrete tilt-up construction with architectural designs similar to surrounding buildings. He stated that staff is recommending the Planning Commission approve File Nos. PDEV15-001 and PVAR15-001, and PMTT15-001 pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval.

No one responded.

PUBLIC TESTIMONY

Grant Ross of Orbis Real Estate Partners appeared and spoke. He explained that this is a remnant parcel of the Hofer family, which has been one of the longest ownerships of property in Ontario and they were fortunate to purchase the property from them and is proud of the project. Mr. Ross explained they were very happy about working with the City of Ontario and where their business may lead with the future of the Ontario Airport. He explained their desires for the Variance, which included the need to put in a reclaimed water line and overpass for the railroad.

Or no one responded.

As there was no one else wishing to speak, Chairman Willoughby closed the public testimony

Ms. Mautz stated that this is likely the last remaining parcel of Hofer Ranch to be developed and it is fitting with what is already there and it would be an improvement to the intersection of Archibald. She also said, it's sad to see it go, but it's also fitting, so the Variance, Development Plan and Parcel Map should be approved.

Mr. Gage stated he'll miss the Zinfandel grapes. He continued by saying he certainly understood the Variance being requested and that it makes sense. He also shares he's in favor of this development.

Mr. Willoughby stated that it was exciting to see and the growth in Ontario, especially on the smaller range, because there has not been that much in that size out there. He also praised the Planning Staff for their hard work. He felt this project would create jobs and then questioned Mr. Murphy about taking a motion to include all the Variance, Development Plan and Parcel Map.

Mr. Gregork was ready to give the second, but also wanted to comment. He wanted to share with Mr. Hofer, who was in the audience, that he will also miss the Zinfandel grapes.

Paul Hofer came forward, apologizing to the Chairman that he was speaking out of order. He wanted to reassure the Commission that there are still wine grapes, soon to be harvested next week. He concluded with there will always be wine grapes at Hofer Ranch. He thanked everyone for letting him speak and for their concern, and consideration on the item.

It was moved by Mautz, seconded by Gregorek, to approve the Resolutions of a Variance, Development Plan, and Tentative Parcel Map. Roll call vote: AYES, Delman, Gage Gregorek, Mautz, Ricci, and Willoughby; NOES, none; RECUSE, none; ABSENT, none. The motion was carried 6 to 0.

MATTERS FROM THE PLANNING COMMISSION

Old Business Reports From Subcommittees

Historic Preservation (Standing): This subcommittee met on Thursday, August 13, 2015

File Reviewed:

PVAR15-006 A request for Variance to deviate from the minimum Development Code standard for the eastern interior side yard setback, from 10 ft to 1.5 ft, to accommodate a 360 s.f. addition to an existing detached 360 s.f., two-car garage on approximately 0.244 acres of land located within Armsley Square Historic District, at 410 W Armsley Sq., within the RE (Residential Estate) zoning district. (APN: 1047-341-10)

Variance was recommended by the Historic Preservation Subcommittee

New Business

NOMINATIONS FOR SPECIAL RECOGNITION

None at this time.

DIRECTOR'S REPORT

Mr. Murphy stated that the Monthly Status Report was in their packet for their review.

ADJOURNMENT

Mautz motioned to adjourn, seconded by Gage. The meeting was adjourned at 7:04 p.m.

Secretary Pro Tempore

Chairman, Planning Commission



PLANNING COMMISSION STAFF REPORT

September 22, 2015

SUBJECT: A Development Plan (**File No. PDEV15-008**) to construct a 24,800 square-foot industrial building on 1.12 acres of vacant land, generally located at the southeast corner of Francis Street and Bon View Avenue, at 926 East Francis Street, within the M2 (Industrial Park) zone. (APN(s): 1050-461-03, 05, and 06) **submitted by On Bon View, LLC.**

PROPERTY OWNER: On Bon View, LLC

RECOMMENDED ACTION: That the Planning Commission approve File No. PDEV15-008, pursuant to the facts and reasons contained in the staff report and attached resolution, and subject to the conditions of approval contained in the attached departmental reports.

PROJECT SETTING: The project site is comprised of 1.12 acres of vacant land generally located at the southeast corner of Francis Street and Bon View Avenue, at 926 East Francis Street, within the M2 (Industrial Park) zone, and is depicted in **Figure 1: Project Location Map**, below.



The area surrounding the project site is located within the M2 (Industrial Park) zone and is developed with existing industrial uses to the north and east, an existing single-family residential use to the south and vacant land to the west.

Figure 1: Project Location Map

Case Planner:	Henry K. Noh	Hearing Body	Date	Decision	Action
Planning Director Approval:		DAB	9/21/15	Approved	Recommend
Submittal Date:		ZA			
Hearing Deadline:		PC	9/22/15		Final
		CC			

PROJECT ANALYSIS:

[1] Background — On Bon View, LLC (“Applicant”) is requesting Development Plan approval to construct a 24,800 square-foot industrial building (see Figure 2 (Proposed Site Plan), below). The proposed building is intended to accommodate a light industrial/warehouse user.

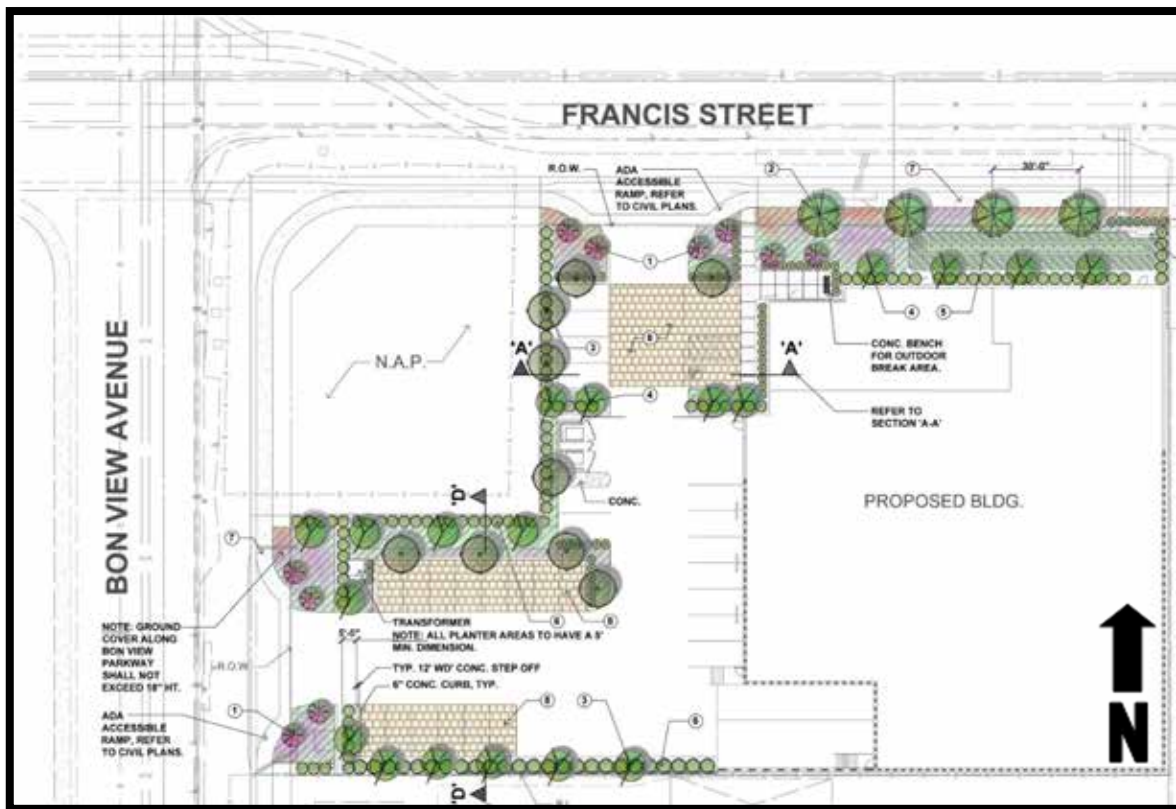


Figure 2: Proposed Site Plan

The project site is currently located on three parcels. The Applicant will be required to record a lot line adjustment to merge the existing three parcels into one to accommodate the development. The resulting floor area ratio (FAR) for the project is 0.46. The project's pertinent site and development statistics are listed in the Technical Appendix of this report.

[2] Site Design/Building Layout — The 1.12-acre project site is located behind a vacant parcel, at the southeast corner of Bon View Avenue and Francis Street, owned by the City and set aside for a future water well site. The 1.12 acre site exceeds the 18,000 square foot (0.41 acre) minimum lot area required by the M2 zoning district.

The 24,735 square-foot industrial building is located along the east boundary of the site, with the loading areas (west elevation) facing Bon View Avenue and the office area

(north elevation) fronting onto Francis Street. Truck maneuvering and loading activities are located within the southern portion of the site that will be screened from public view (from Bon View Avenue) by a 9-foot screen wall and gate.

[3] Site Access/Circulation — Vehicular access to the project site will be provided by two driveways from Francis Street and Bon View Avenue. The northern driveway will align with the existing driveway located on the north side of Francis Street.

[4] Parking — The project has been parked in accordance with the City's off-street parking standards for warehouse/distribution facilities. The minimum requirements for off-street automobile and truck trailer parking have been met for the project, as shown in the table below:

<i>Gross Floor Area (in SF)</i>	<i>Automobile Parking</i>		<i>Trailer Parking</i>	
	<i>Required</i>	<i>Proposed</i>	<i>Required</i>	<i>Proposed</i>
24,735	30	30	1	1

[5] Architecture — The proposed building is concrete tilt-up and incorporates smooth-painted finishes, horizontal and vertical reveal patterns, clear anodized aluminum window mullions with blue glazing, and a metal awning at the front entrance. The mechanical equipment will be roof-mounted and architecturally screened from public view by parapet walls, which incorporate design features consistent with the building architecture.

Staff believes that the proposed project illustrates the type of high-quality architecture promoted by the Development Code. This is exemplified through the use of:

- Articulation in the building footprint, incorporating a combination of recessed and popped-out wall areas;
- Articulation in the building parapet/roof line, which serves to accentuate the building's entries and breaks up large expanses of building wall;
- Variations in building massing; and
- Incorporation of base and top treatments defined by changes in color and recessed wall areas.

[6] Landscaping — The project provides ample landscaping along the project street frontage, at both vehicle entries, within off-street guest parking areas, and adjacent to each office element. A 15-foot landscaped setback is provided along the Bon View Avenue frontage and a 20-foot landscaped setback is provided along the Francis Street frontage measured from the property line to the building face. A variety of 24-inch and 36-inch box accent and shade trees have been selected to enhance the project.

[7] Utilities (drainage, sewer) — Public utilities (water and sewer) are available to serve the project. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan (PWQMP), which establishes the project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces, and maximizes low impact development (LID) best management practices (BMPs), such as retention and infiltration basins. The PWQMP proposes vegetated swales located within the street setback areas, which lead to underground stormwater infiltration systems installed along Francis Street and Bon View Avenue street frontages. Additionally, pervious pavers are proposed in various locations of the parking area to allow for water infiltration.

COMPLIANCE WITH THE ONTARIO PLAN: The proposed project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan (TOP). More specifically, the goals and policies of TOP that are furthered by the proposed project are as follows:

[1] City Council Priorities

Primary Goal: Regain Local Control of the Ontario International Airport

Supporting Goals: Invest in the Growth and Evolution of the City's Economy; and Operate in a Businesslike Manner.

[2] Policy Plan (General Plan)

[a] *Land Use—Compatibility*

Goal:

LU2 Compatibility between a wide range of uses.

Policies:

LU2-1 *Land Use Decisions.* We minimize adverse impacts on adjacent properties when considering land use and zoning requests.

LU2-5 *Regulation of Uses.* We regulate the location, concentration and operation of uses that have impacts on surrounding land uses.

LU2-6 *Infrastructure Compatibility.* We require infrastructure to be aesthetically pleasing and in context with the community character.

[b] Land Use—Flexibility

Goal:

LU3 Staff, regulations and processes that support and allow flexible response to conditions and circumstances in order to achieve the Vision.

Policies:

LU3-1 *Development Standards*. We maintain clear development standards which allow flexibility to achieve our Vision.

[c] Community Economics—Place Making

Goal:

CE2 A City of distinctive neighborhoods, districts, and corridors, where people choose to be.

Policies:

CE2-1 *Development Projects*. We require new development and redevelopment to create unique, high-quality places that add value to the community.

CE2-2 *Development Review*. We require those proposing new development and redevelopment to demonstrate how their projects will create appropriately unique, functional and sustainable places that will compete well with their competition within the region.

CE2-4 *Protection of Investment*. We require that new development and redevelopment protect existing investment by providing architecture and urban design of equal or greater quality.

CE2-5 *Private Maintenance*. We require adequate maintenance, upkeep, and investment in private property because proper maintenance on private property protects property values.

[e] Safety—Seismic & Geologic Hazards

Goal:

S1 Minimized risk of injury, loss of life, property damage and economic and social disruption caused by earthquake-induced and other geologic hazards.

Policies:

S1-1 *Implementation of Regulations and Standards.* We require that all new habitable structures be designed in accordance with the most recent California Building Code adopted by the City, including provisions regarding lateral forces and grading.

[e] Community Design—Image & Identity

Goal:

CD1 A dynamic, progressive city containing distinct neighborhoods and commercial districts that foster a positive sense of identity and belonging among residents, visitors, and businesses.

Policies:

CD1-1 *City Identity.* We take actions that are consistent with the City being a leading urban center in Southern California while recognizing the diverse character of our existing viable neighborhoods.

CD1-3 *Neighborhood Improvement.* We require viable existing residential and non-residential neighborhoods to be preserved, protected, and enhanced in accordance with our land use policies.

[f] Community Design—Design Quality

Goal:

CD2 A high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct.

Policies:

CD2-1 *Quality Architecture.* We encourage all development projects to convey visual interest and character through:

- Building volume, massing, and height to provide appropriate scale and proportion;

- A true architectural style which is carried out in plan, section and elevation through all aspects of the building and site design and appropriate for its setting; and
- Exterior building materials that are visually interesting, high quality, durable, and appropriate for the architectural style.

CD2-7 *Sustainability*. We collaborate with the development community to design and build neighborhoods, streetscapes, sites, outdoor spaces, landscaping and buildings to reduce energy demand through solar orientation, maximum use of natural daylight, passive solar and natural ventilation, building form, mechanical and structural systems, building materials and construction techniques.

CD2-8 *Safe Design*. We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding physically and visually isolated spaces, maintenance of visibility and accessibility, and use of lighting.

CD2-9 *Landscape Design*. We encourage durable landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.

CD2-10 *Surface Parking Areas*. We require parking areas visible to or used by the public to be landscaped in an aesthetically pleasing, safe and environmentally sensitive manner. Examples include shade trees, pervious surfaces, urban run-off capture and infiltration, and pedestrian paths to guide users through the parking field.

CD2-11 *Entry Statements*. We encourage the inclusion of amenities, signage and landscaping at the entry to neighborhoods, commercial centers, mixed use areas, industrial developments, and public places that reinforce them as uniquely identifiable places.

CD2-12 *Site and Building Signage*. We encourage the use of sign programs that utilize complementary materials, colors, and themes. Project signage should be designed to effectively communicate and direct users to various aspects of the development and complement the character of the structures.

CD2-13 *Entitlement Process*. We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

CD2-14 *Availability of Information*. We provide easy access to information for developers, builders and the public about design quality, construction quality, and sustainable building practices.

[g] Community Design—Pedestrian & Transit Environments

Goal:

CD3 Vibrant urban environments that are organized around intense buildings, pedestrian and transit areas, public plazas, and linkages between and within developments that are conveniently located, visually appealing and safe during all hours.

Policies:

CD3-1 *Design*. We require that pedestrian, vehicular, bicycle and equestrian circulation on both public and private property be coordinated and designed to maximize safety, comfort and aesthetics.

CD3-2 *Connectivity Between Streets, Sidewalks, Walkways and Plazas*. We require landscaping and paving be used to optimize visual connectivity between streets, sidewalks, walkways and plazas for pedestrians.

CD3-3 *Building Entrances*. We require all building entrances to be accessible and visible from adjacent streets, sidewalks or public open spaces.

CD3-5 *Paving*. We require sidewalks and road surfaces to be of a type and quality that contributes to the appearance and utility of streets and public spaces.

CD3-6 *Landscaping*. We utilize landscaping to enhance the aesthetics, functionality and sustainability of streetscapes, outdoor spaces and buildings.

[h] Community Design—Protection of Investment

Goal:

CD5 A sustained level of maintenance and improvement of properties, buildings and infrastructure that protects the property values and encourages additional public and private investments.

Policies:

CD5-1 *Maintenance of Buildings and Property*. We require all public and privately owned buildings and property (including trails and easements) to be properly and consistently maintained.

CD5-2 *Maintenance of Infrastructure*. We require the continual maintenance of infrastructure.

COMPLIANCE WITH THE AIRPORT LAND USE COMPATIBILITY PLAN: The project site is located within the Airport Influence Area of LA/Ontario International Airport and has been found to be consistent with the policies and criteria set forth within the LA/Ontario International Airport Land Use Compatibility Plan (ALUCP).

ENVIRONMENTAL REVIEW: The project is categorically exempt from environmental review pursuant to State CEQA Guidelines Section 15332 (In-Fill Development Projects).

- (1) The proposed project is consistent with the general plan land use designation and meets all applicable general plan policies and zoning regulations.
- (2) The proposed development is located within city limits, is surrounded by urban uses and the project site is less than 5 acres.
- (3) The project site has been disturbed and has no value as habitat for endangered or threatened species.
- (4) Approval of the project will not result in any significant traffic, noise, air quality or water quality impacts. The scope of the project includes the construction of a small 24,800 square-foot industrial building and accompanying general site improvements as a result the project should not have any significant negative environmental effects on the surrounding area.
- (5) The site is adequately served by all required utilities and public services.

CONDITIONS OF APPROVAL: See attached department reports.

TECHNICAL APPENDIX:

Surrounding Zoning and Land Use:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vacant	Industrial	M2 (Industrial Park)	N/A
<i>North</i>	Industrial	Industrial	M2 (Industrial Park)	N/A
<i>South</i>	Single-Family Residential	Industrial	M2 (Industrial Park)	N/A
<i>East</i>	Industrial	Industrial	M2 (Industrial Park)	N/A
<i>West</i>	Industrial	Industrial	M2 (Industrial Park)	N/A

<i>Item</i>	<i>Proposed</i>	<i>Min./Max. Standard</i>	<i>Meets Y/N</i>
<i>Project Area (in Acres):</i>	1.12	N/A	Y
<i>Lot/Parcel Size:</i>	48,635 SF	18,000 SF (Min.)	Y
<i>Building Area (in FT):</i>	24,735 SF	N/A	Y
<i>Floor Area Ratio:</i>	0.46	0.55 (Max.)	Y
<i>Building Height (in FT):</i>	35.0 FT	35.0 FT (Max.)	Y

Parking:

<i>Type of Use</i>	<i>Building Area (in SF)</i>	<i>Parking Ratio</i>	<i>Spaces Required</i>	<i>Spaces Provided</i>
<i>Warehouse/Distribution</i>	24,735 SF	One space for each 1,000 SF of GFA for the first 20,000 SF, plus one space for each 2,000 SF of GFA for the remaining building area.	1	1

Exhibit A: Project Location Map

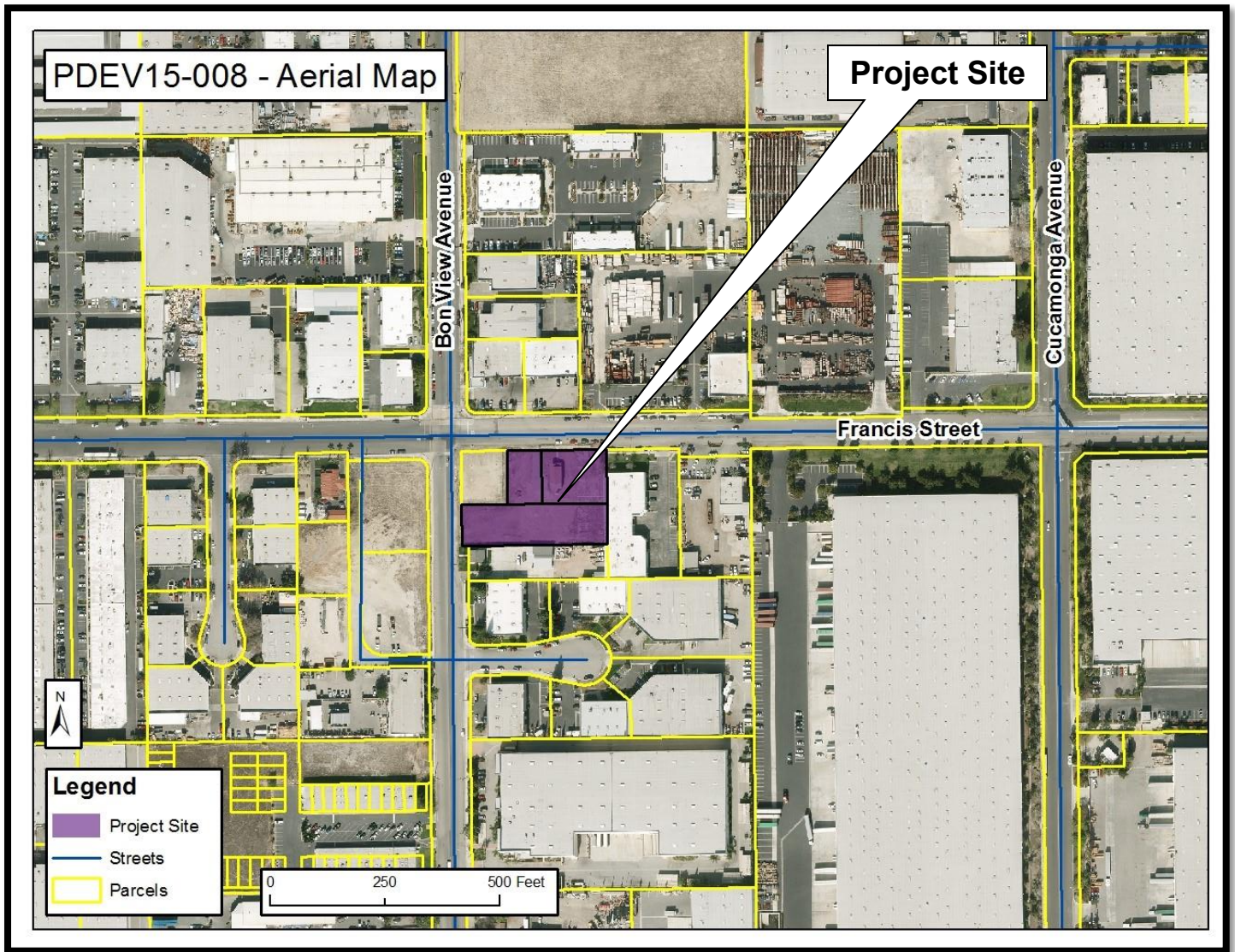


Exhibit B: Site Plan

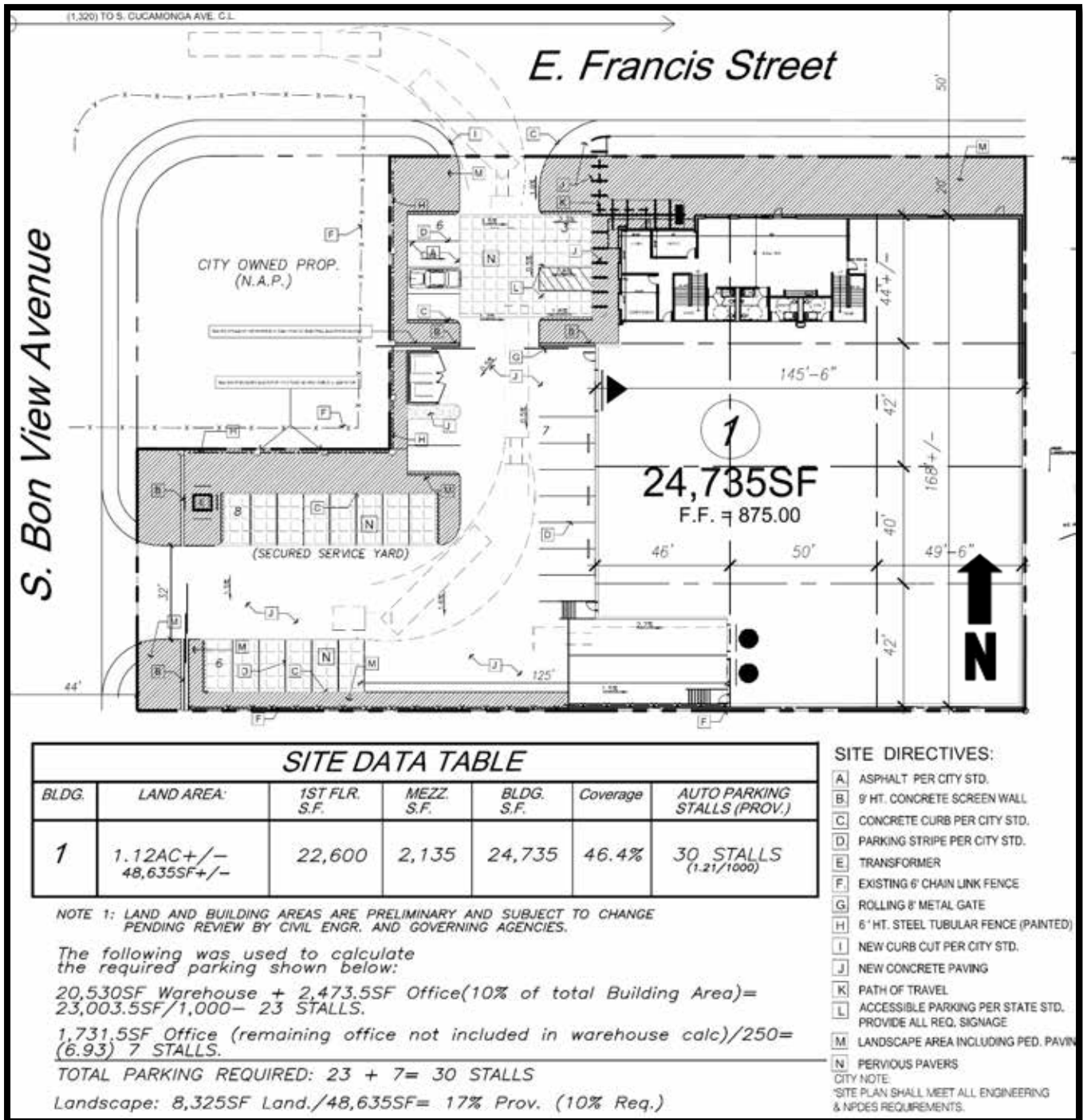


Exhibit C: Conceptual Landscape Plan

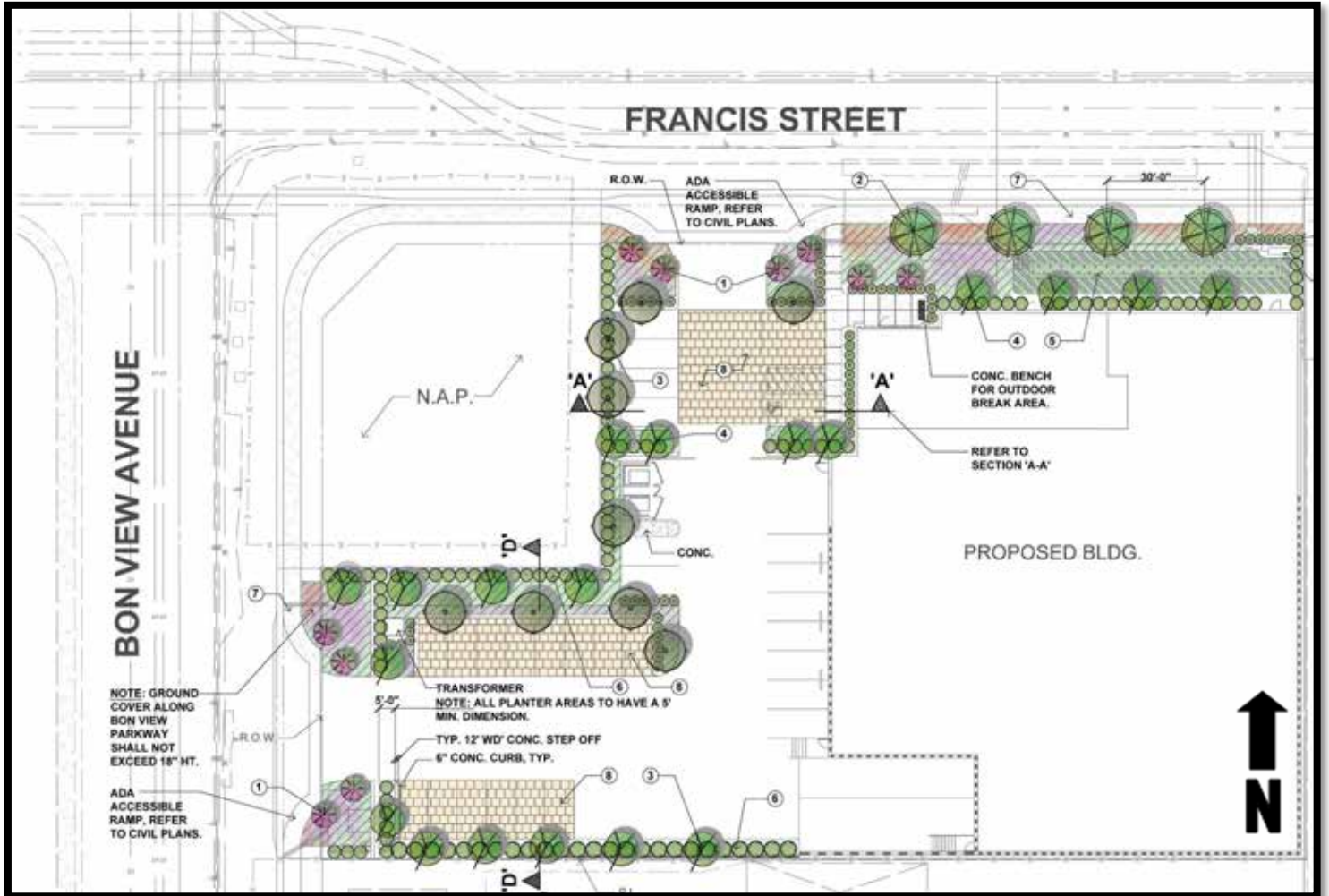


Exhibit D: Elevations



North Elevation (Fronting Francis Street)



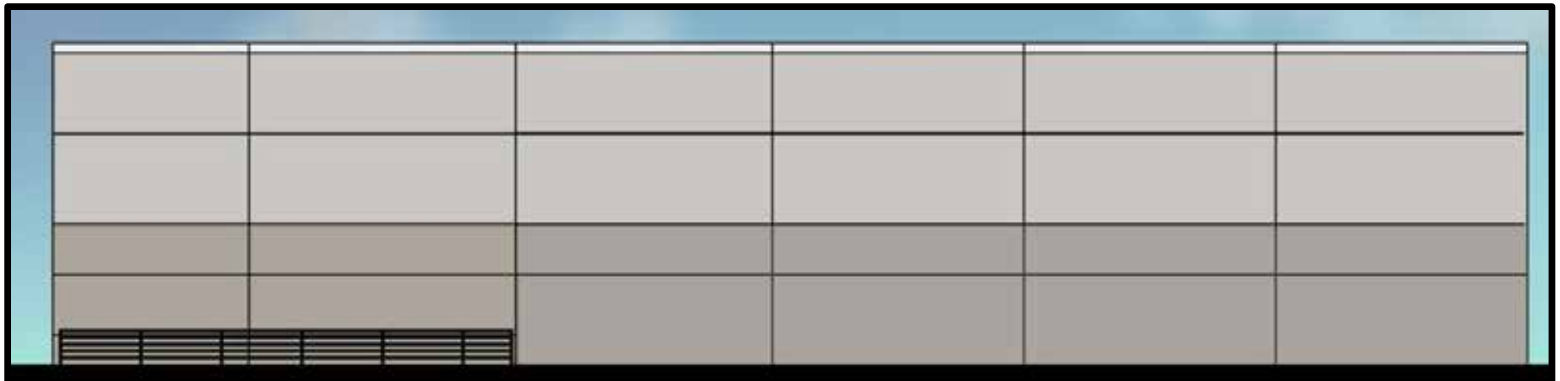
West Elevation (Fronting Bon View Avenue)

Exhibit D: Elevations Cont'd



East Elevation

South Elevation



RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ONTARIO, CALIFORNIA, APPROVING FILE NO. PDEV15-008, A DEVELOPMENT PLAN TO CONSTRUCT A 24,800 SQUARE-FOOT INDUSTRIAL BUILDING ON APPROXIMATELY 1.12 ACRES OF VACANT LAND, GENERALLY LOCATED AT THE SOUTHEAST CORNER OF FRANCIS STREET AND BON VIEW AVENUE, AT 926 EAST FRANCIS STREET, WITHIN THE M2 (INDUSTRIAL PARK) ZONE, AND MAKING FINDINGS IN SUPPORT THEREOF – APNS: 1050-461-03, 1050-461-05, AND 1050-461-06.

WHEREAS, On Bon View, LLC ("Applicant") has filed an Application for the approval of a Development Plan, File No. PDEV15-008, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to property located at 926 East Francis Street with a street frontage of 216 feet along Francis Street and a street frontage of 89 feet along Bon View Avenue and is currently vacant; and

WHEREAS, the property to the north of the Project site is within the M2 (Industrial Park) zoning district and is currently vacant. The property to the south is within the M2 (Industrial Park) zoning district and is developed with a single-family residential use. The property to the east is within the M2 (Industrial Park) zoning district and is developed with an existing industrial use. The property to the west is within the M2 (Industrial Park) zoning district and is currently vacant; and

WHEREAS, the Applicant is requesting Development Plan to construct a 24,735 square-foot industrial building, on 1.12 acres of vacant land that is intended to accommodate a light industrial/warehouse user. The 24,735 square-foot industrial building is located along the east boundary of the site, with the loading areas (west elevation) facing Bon View Avenue and the office area (north elevation) fronting onto Francis Street. Truck maneuvering and loading activities are located within the southern portion of the site that will be screened from public view (from Bon View Avenue) by a 9-foot screen wall and gate; and

WHEREAS, the proposed development has been parked in accordance with the “warehouse/distribution facility” parking standards. The minimum requirements for off-street automobile and truck trailer parking have been exceeded for the building as follows:

<i>Gross Floor Area (in SF)</i>	<i>Automobile Parking</i>		<i>Trailer Parking</i>	
	<i>Required</i>	<i>Proposed</i>	<i>Required</i>	<i>Proposed</i>
24,735	30	30	1	1

WHEREAS, the proposed building is concrete tilt-up and incorporates smooth-painted finishes, horizontal and vertical reveal patterns, clear anodized aluminum window mullions with blue glazing, and a metal awning at the front entrance. The mechanical equipment will be roof-mounted and architecturally screened from public view by parapet walls, which incorporate design features consistent with the building architecture; and

- Articulation in the building footprint, incorporating a combination of recessed and popped-out wall areas;
- Articulation in the building parapet/roof line, which serves to accentuate the building's entries and breaks up large expanses of building wall;
- Variations in building massing; and
- Incorporation of base and top treatments defined by changes in color and recessed wall areas.

WHEREAS, the project provides ample landscaping along the project street frontage, at both vehicle entries, within off-street guest parking areas, and adjacent to each office element. A 15-foot landscaped setback is provided along the Bon View Avenue frontage and a 20-foot landscaped setback is provided along the Francis Street frontage measured from the street property line to the building face. A variety of 24-inch and 36-inch box accent and shade trees have been selected to enhance the project; and

WHEREAS, public utilities (water and sewer) are available to serve the project. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan (PWQMP) which establishes the project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces, and maximizes low impact development (LID) best management practices (BMPs), such as retention and infiltration basins. The PWQMP proposes vegetated swales located within the street setback areas, which lead to underground stormwater infiltration systems installed along Francis Street and Bon View Avenue street frontages. Additionally, pervious pavers are proposed in various locations of the parking area to allow for water infiltration; and

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA"); and

WHEREAS, the proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT; and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, on September 21, 2015, the Development Advisory Board of the City of Ontario conducted a hearing and issued Decision No. DAB15-057 recommending Planning Commission approve the Application; and

WHEREAS, on September 22, 2015, the Planning Commission of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND RESOLVED by the Planning Commission of the City of Ontario, as follows:

SECTION 1. As the decision-making body for the Project, the Planning Commission has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

a. The Project is categorically exempt from environmental review pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines; and

1. The proposed project is consistent with the general plan land use designation and meets all applicable general plan policies and zoning regulations.

2. The proposed development is located within city limits, is surrounded by urban uses and the project site is less than 5 acres.

3. The project site has been disturbed and has no value as habitat for endangered or threatened species.

4. Approval of the project will not result in any significant traffic, noise, air quality or water quality impacts. The scope of the project includes the construction of a small 24,800 square-foot industrial building and accompanying general site improvements as a result the project should not have any significant negative environmental effects on the surrounding area.

5. The site is adequately served by all required utilities and public services.

b. The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

c. The determination of CEQA exemption reflects the independent judgment of the Planning Commission.

SECTION 2. Based upon the substantial evidence presented to the Planning Commission during the above-referenced hearing and upon the specific findings set forth in Section 1 above, the Planning Commission hereby concludes as follows:

a. The Project is compatible with those on adjoining sites in relation to the location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located. The Project has been designed to be consistent with the requirements of the City of Ontario Development Code, including standards relative to the particular land use proposed (warehouse/distribution), as well as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, landscaping, fences, and walls; and

b. The Project will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project. The proposed location of the Project, and the proposed conditions under which it will be constructed and maintained, is consistent with the Policy Plan component of The Ontario Plan and the City's Development Plan, and, therefore, will not be detrimental to the public health, safety, and general welfare; and

c. The Project will not have a significant adverse impact on the environment. The proposed industrial development project is consistent with the Policy Plan component of The Ontario Plan, which designates the Project site for the Industrial land use.

d. The Project is consistent with the development standards set forth in the Development Code. The proposed project has been reviewed for consistency with the development standards contained in the Ontario Development Code, including those related to the particular land use being proposed (warehouse/distribution), as well as building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, landscaping, fences and walls. As a result of such review, staff has found the project, when implemented in conjunction with the conditions of approval, will be consistent with the applicable Development Code requirements; and

e. The Project is consistent with the design guidelines set forth in the Development Code. The proposed project has been reviewed for consistency with the design guidelines contained in the Development Code, which are applicable to the Project, including those guidelines relative to walls and fencing; streetscapes and walkways; paving, plants and furnishings; on-site landscaping; and building design. As a result of such review, staff has found the project, when implemented in conjunction with the conditions of approval, to be consistent with the applicable design guidelines.

SECTION 3. Based upon the findings and conclusions set forth in Sections 1 and 2 above, the Planning Commission approves the Project subject to each and every condition set forth in the Department reports, attached hereto and incorporated herein by this reference.

SECTION 4. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 5. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 6. The Secretary shall certify to the adoption of the Resolution.

The Secretary Pro Tempore for the Planning Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning Commission of the City of Ontario at a regular meeting thereof held on the 22nd day of September 2015, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Jim Willoughby
Planning Commission Chairman

ATTEST:

Scott Murphy
Planning Director/Secretary of Planning
Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Marci Callejo, Secretary Pro Tempore of the Planning Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. PC**-*** was duly passed and adopted by the Planning Commission of the City of Ontario at their regular meeting held on September 22, 2015, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Marci Callejo
Secretary Pro Tempore



**PLANNING DEPARTMENT
CONDITIONS OF APPROVAL**

File No. PDEV15-008

Date: September 21, 2015

Project Description: A Development Plan to construct an approximate 24,800 square-foot industrial building, on approximately 1.12-acres of vacant land, generally located at the southeast corner of Francis Street and Bon View Avenue, at 926 East Francis Street, within the M2 (Industrial Park) zone; submitted by Scott Heaton (APNs: 1050-461-03, 1050-461-05, and 1050-461-06); **submitted by On Bon View, LLC**

Reviewed by: Henry K. Noh, *Senior Planner*
Phone: (909) 395-2036; **Fax:** (909) 395-2420

A handwritten signature in black ink, appearing to read "H. Noh", is written over the printed name and title of the reviewer.

CONDITIONS OF APPROVAL

The above-described Development Plan application shall comply with the following conditions of approval:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 1020-021, on March 16, 2010. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or the City Clerk.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits Project approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 Parcels If not already completed, prepare a lot line adjustment application to merge the three project site parcels into one, for the purpose of enabling development.

2.3 Landscaping

(a) Comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 1020-021.

2.4 Walls and Fences

(a) Elevation drawings of the screen walls shall be provided, which indicate materials, colors, and height of the walls, and shall include a cross-section. Walls shall be designed as an integral part of the site architecture.

(b) All gates shall be decorative and view-obstructing, and shall be designed as an integral part of the site architecture.

2.5 Parking, Circulation, and Access

(a) Comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 1020-021.

2.6 Loading and Outdoor Storage Areas

(a) Comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 1020-021.

2.7 Site Lighting

(a) Comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 1020-021.

2.8 Mechanical and Rooftop Equipment

(a) Comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 1020-021.

2.9 Architectural Treatment

(a) Comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 1020-021.

2.10 Signs

(a) Comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 1020-021.

2.11 Environmental Review

(a) The proposed project is categorically exempt from environmental review in accordance with Section 15332 (In-Fill Development Projects) of the California Environmental Quality Act (CEQA).

- (i) The proposed project is consistent with the general plan land use designation and meets all applicable general plan policies and zoning regulations.
- (ii) The proposed development is located within city limits, is surrounded by urban uses and the project site is less than 5 acres.
- (iii) The project site has been disturbed and has no value as habitat for endangered or threatened species.
- (iv) Approval of the project will not result in any significant traffic, noise, air quality or water quality impacts. The scope of the project includes the construction of a small 24,800 square-foot industrial building and accompanying general site improvements as a result the project should not have any significant negative environmental effects on the surrounding area.
- (v) The site is adequately served by all required utilities and public services.

(b) The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

(c) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(d) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.12 Additional Fees

(a) After project's entitlement approval and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

(b) Within 5 days following final application approval, the Notice of Determination (NOD), Notice of Exemption (NOE), \$50 filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "*Clerk of the Board*", which will be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in the 30-day statute of limitations for the filing of a CEQA lawsuit being extended to 180 days.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development and Environmental], Traffic/Transportation Division, Ontario Municipal Utilities Company and Management Services Department conditions incorporated herein)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. PDEV15-008 RELATED FILE NO(S).	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: __/__/__	

CITY PROJECT ENGINEER & PHONE NO: Miguel Solomayor (909) 395-2108 *MS*

CITY PROJECT PLANNER & PHONE NO: Henry Noh (909) 395-2429

DAB MEETING DATE: September 21, 2015

PROJECT NAME / DESCRIPTION: A Development Plan to construct 24,735 SF concrete tilt-up, industrial building, on approximately 1.18 acres of vacant land, located on the SEC Bon View Avenue and Francis Street, within the M2 Industrial Park zone.

LOCATION: 926 E. Francis Street

APPLICANT: Scott A. Heaton (Colliers International)

REVIEWED BY: *[Signature]* 9/10/15
 Omar Gonzalez, P.E. Date
 Senior Associate Civil Engineer

APPROVED BY: *[Signature]* 9/10/15
 Raymond Lee, P.E. Date
 Assistant City Engineer

Last Revised: 9/10/2015



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2010-021) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____
 and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s): _____
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.
 (1) _____
 (2) _____
- 1.08 File a Consent and Waiver to Annexation agreement, together with an annexation processing fee, to annex the subject property to a Street Lighting Maintenance Assessment District (SLMD). The agreement and fee shall be submitted a minimum of three (3) months prior to, and the annexation shall be completed, prior to final subdivision map approval or issuance of building permits, whichever occurs first. An annual special assessment shall be levied in the SLMD and will be collected along with annual property taxes. The special assessment will provide funding for costs associated with the annual operation and maintenance of the street lighting facilities and appurtenances that serve the property. Contact Management Services at (909) 395-2124 regarding this requirement.
- 1.09 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for



various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.

- 1.10 New Model Colony (NMC) Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.11 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 **Note that the subject parcel will be a recognized parcel in the City of Ontario upon the recordation of the Certificate of Compliance.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of _____.
- 2.05 **Apply for a:** **Certificate of Compliance;** **Lot Line Adjustment**
 - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.
- 2.07 Submit a soils/geology report.
- 2.08 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game



- Inland Empire Utilities Agency (IEUA)
- Other: _____

2.09 Dedicate to the City of Ontario the right-of-way described below: _____
_____ feet on _____

Property line corner 'cut-back' required at the intersection of _____
and _____.

2.10 Dedicate to the City of Ontario the following easement(s): _____

2.11 New Model Colony (NMC) Developments:

1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.

2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.

3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).

2.12 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.

2.13 Other conditions: _____



B. PUBLIC IMPROVEMENTS

(See attached Exhibit 'A' for plan check submittal requirements.)

- 2.14 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Francis	Bon View	Street 3	Street 4
Curb and Gutter ^(a)	<input checked="" type="checkbox"/> New; 38ft. from C/L <input type="checkbox"/> Replace damaged <input checked="" type="checkbox"/> Remove Existing	<input checked="" type="checkbox"/> New; 32 ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement ^(a)	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen 16 additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen 10 additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach ^(a)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk ^(a)	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway ^(a)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral



Water (see Sec. 2.D)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F) ^(a)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Overhead Utilities ^(a)	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input checked="" type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Temporary Improvements ^(b)	Drive Approach AC Berm Mulch Parkways	Drive Approach AC Berm Mulch Parkways	_____	_____

Specific notes for improvements listed in item no. 2.15, above:

- a. The Applicant/Developer shall pay an in-lieu fee (per letter dated November 3, 2014) in the amount of \$99,315.95 for the following ultimate off-site improvements: street widening, curb & gutter, sidewalk, drive approaches, removal of existing curb & gutter and sidewalk, street lights, landscape parkway including irrigation and undergrounding of overhead utilities. The in-lieu fee shall be paid at the time of request of occupancy or when the City Francis Storm Drain project goes out to bid (whichever occurs first). The project is tentatively scheduled to go out to bid on October 2015.
- b. The Applicant/Developer shall design and construct the interim improvements (AC berm, mulch parkways and drive approach) along their frontage on Francis Street and Bon View Avenue.

2.15 Construct a 0.15' asphalt concrete (AC) grind and overlay on the following street(s): _____

2.16 Reconstruct the full pavement structural section based on existing pavement condition and approved _____



street section design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter. 'Pothole' verification of existing pavement section required prior to acceptance/approval of street improvement plan.

- 2.17 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.18 Other conditions: _____

C. SEWER

- 2.19 **A 12inch sewer main is available for connection by this project in Francis Street. (Ref: Sewer plan bar code: S10028)**
- 2.20 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.21 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.22 **Other conditions:**
 - a. Future Occupants of the Building shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply will all the requirements of the their Individual Wastewater Discharge Permit, including, but not to limited to, possibly installing a Monitoring Manhole for the Individual Unit they Occupy, or other Wastewater Pretreatment equipment.**

D. WATER

- 2.23 **A 12 and 8 inch water main is available for connection by this project in Francis Street. (Ref: Water plan bar code: W11967)**
- 2.24 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.25 Submit documentation that shows expected peak demand water flows for modeling the impact of the subject project to the existing water system. The project site is within a deficient public water system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impacts to the deficient public water system, including, but not limited to upgrading of the existing water main(s) and/or construction of a new main(s).
- 2.26 Design and construct appropriate cross-connection protection for new potable water and fire service connections. Appropriate protection shall be based upon the degree of hazard per Title 17 of the California Code of Regulations. The minimum requirement is the installation of a backflow prevention device per current City standards. All existing potable water and fire services that do not meet the current minimum level of protection shall be upgraded (retrofitted) with the appropriate backflow protection assembly per current City standards.
- 2.27 Request a water flow test to be conducted, to determine if a water main upgrade is necessary to achieve required fire flow for the project. The application is available on the City website (www.ci.ontario.ca.us) or Applicant can contact the City of Ontario Fire Department at (909) 395-2029 to coordinate scheduling of this test. Applicant shall design and construct a water main upgrade if the water flow test concludes that an upgrade is warranted.



2.28 Other conditions: _____

E. RECYCLED WATER

2.29 A _____ inch recycled water main is available for connection by this project in _____.
(Ref: Recycled Water plan bar code: _____)

2.30 Design and construct an on-site recycled water system for this project. A recycled water main does not exist in the vicinity of this project.

2.31 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. Applicant shall be responsible for construction of a connection to the recycled water main for approved uses, when the main becomes available. The cost for connection to the main shall be borne solely by Applicant.

2.32 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.

Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.

2.33 Other conditions: _____

F. TRAFFIC / TRANSPORTATION

2.34 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:

1. On-site and off-site circulation
2. Traffic level of service (LOS) at 'build-out' and future years
3. Impact at specific intersections as selected by the City Engineer

2.35 Other conditions:

- a. The proposed gate(s) controlling site access to/from shall remain open during business hours.
- b. The Applicant/Developer shall be responsible to design and construct in-fill public streetlights (LED lamp type) along the property frontages of Francis Street and Bon View Avenue, in accordance with the latest City of Ontario Standards and to the satisfaction of the City Engineer.
- c. "No Parking Anytime" signs shall be installed along the property frontages of Bon View Avenue and Francis Street.
- d. The Applicant/Developer is required to modify the Francis Street westerly driveway curb return to be flared to accommodate an inbound right turn. Revise driveway and on-site layout as required.

G. DRAINAGE / HYDROLOGY

2.36 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this



study.

- 2.37 Design and construct a storm water detention facility on the project site. An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Post-development flows from the site shall not exceed 80% of pre-development flows, in accordance with the approved hydrology study and improvement plans.
- 2.38 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.39 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.40 Storm Drain Impact Fees are based on acreage of the subject site.
- 2.41 Other conditions: _____

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.42 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.43 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.
- 2.44 Other conditions:
 - a. All proposed landscaped areas on the site shall be graded as shallow rainwater infiltration swales and shall be utilized to the maximum extent for accepting pavement runoff. All swaled landscaped areas shall be designed in coordination with Planning Department's Landscape Architect.

J. SPECIAL DISTRICTS

- 2.45 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.



- 2.46 File a Consent and Waiver to Annexation agreement, together with an annexation processing fee, to annex the subject property to a Street Lighting Maintenance Assessment District (SLMD). The agreement and fee shall be submitted three (3) months prior to, and the annexation shall be completed prior to, final subdivision map approval or issuance of building permits, whichever occurs first. An annual special assessment shall be levied in the SLMD and will be collected along with annual property taxes. The special assessment will provide funding for costs associated with the annual operation and maintenance of the street lighting facilities and appurtenances that serve the property. Contact the Management Services Department at (909) 395-2124, regarding this requirement.

- 2.47 Other conditions: _____



3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.

- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.

- 3.03 All Development Impact Fees (DIF) must be paid in full to the Building Department.

- 3.04 Submit electronic copies of all approved studies/reports (i.e. hydrology, traffic, WQMP, etc.).



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV15-008

The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
6. Three (3) sets of Public Street improvement plan with street cross-sections
7. Three (3) sets of Private Street improvement plan with street cross-sections
8. Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
9. Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10. Four (4) sets of Public Sewer improvement plan
11. Five (5) sets of Public Storm Drain improvement plan
12. Three (3) sets of Public Street Light improvement plan
13. Three (3) sets of Signing and Striping improvement plan
14. Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Specifications available at [http:// www.ci.ca.us/index.aspx?page=278](http://www.ci.ca.us/index.aspx?page=278).
15. **Two (2) copies of Water Quality Management Plan (WQMP)**
16. **One (1) copy of Hydrology/Drainage study**
17. One (1) copy of Soils/Geology report
18. Payment for Final Map/Parcel Map processing fee
19. Three (3) copies of Final Map/Parcel Map
20. One (1) copy of approved Tentative Map
21. **One (1) copy of Preliminary Title Report (current within 30 days)**
22. One (1) copy of Traverse Closure Calculations
23. **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**



24. Two (2) copies of Engineering Report and an electronic file (PDF format on a compact disc) for recycled water use
25. Other:
- a. Two (2) copies Lot Line Adjustment (legal and plat), supporting documents and associated fees
 - b. Two (2) copies Certificate of Compliance (legal and plat) , supporting documents and associated fees

CITY OF ONTARIO MEMORANDUM

TO: PLANNING DEPARTMENT, John Hildebrand
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: March 10, 2015
SUBJECT: PDEV15-008

-
- The plan **does** adequately address the departmental concerns at this time.
 No comments
 Report below.

Conditions of Approval

1. Standard Conditions of Approval apply.

KS: kb

AIRPORT LAND USE COMPATIBILITY PLANNING CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV15-008
 Address: 926 East Francis Street
 APN: 1050-461-03, 05 & 06
 Existing Land Use: Vacant Land and Building to be demolished
 Proposed Land Use: 24,735 SF Industrial Building
 Site Acreage: 1.18 Proposed Structure Height: 35'
 ONT-IAC Project Review: No
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia
 Contact Info: 909-395-2276
 Project Planner: John Hildebrand
 Date: 4/6/15
 CD No.: 2015-014
 PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input checked="" type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input checked="" type="checkbox"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200+	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Compatibility Zones:

Zone A
 Zone B1
 Zone C
 Zone D
 Zone E

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP
 Consistent
 Consistent with Conditions
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: 

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off

Carolyn Bell
 Carolyn Bell, Sr. Landscape Planner

3/31/15
 Date

Reviewer's Name: Carolyn Bell, Sr. Landscape Planner	Phone: (909) 395-2237
D.A.B. File No.: PDEV15-008	Case Planner: John Hildebrand
Project Name and Location: Francis St Industrial Building 926 E Francis Street	
Applicant/Representative: Scott A Heaton 5100 s Eastern Ave ste 100 Commerce, CA 90040	
<input checked="" type="checkbox"/>	A Preliminary Landscape Plan (dated 2/27/15) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.
<input type="checkbox"/>	A Preliminary Landscape Plan (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.
CORRECTIONS REQUIRED	

1. Show all narrow planters to have a minimum 5' wide inside dimension not including curbs on plans and sections A-A and D-D.
2. Dimension planters to have 6" curbs with 12" wide curbs where parking spaces are adjacent.
3. Show domestic, irrigation and fire backflow devices behind 12' right of way line.
4. Show accessible ramps at driveways.
5. Move transformer to north at back of parking lot planter.
6. Show outdoor employee break area with a bench or picnic table.
7. Note for compaction to be no greater than 85% at landscape areas.
8. Note all finished grades at 1 1/2" below finished surfaces.
9. Change Street tree on Francis from Magnolia to Cinnamomum camphora
10. Change parking lot shade trees from Rhus to a canopy tree such as Pistache, Ulmus. And change trees against the south PL and adjacent building to a tall narrow type such as Pine or Tristania.
11. Provide agronomical soil testing and include report on landscape plans.
12. Show parkway landscape on Bon view with max 18" high groundcovers.
13. Show backflows need to be behind the right of way line (12' from the curb) and screened with 36" high shrubs.
14. Show parkway landscape and street trees spaced 30' apart.
15. Avoid large areas of Lantana that dies back in winter.



CITY OF ONTARIO
MEMORANDUM

TO: Otto Kroulil, Development Director
Scott Murphy, Planning Director
Cathy Wahistrom, Principal Planner (Copy of memo only)
Charly Hernandez, Economic Development
Kevin Shear, Building Official
Raymond Lee, Assistant City Engineer
Carolyn Bell, Landscape Planning Division
Sheldon Yu, Municipal Utility Company
Scott Melendrez, Police Department
Art Andres, Deputy Fire Chief/Fire Marshal
Brent Schuitz, Housing and Neighborhood Revitalization Director (Copy of memo only)
Sigfrido Rivera, Housing Manager
Tom Danna, T. E., Traffic/Transportation Manager
Lorena Mejia, Associate Planner, Airport Planning (Copy of memo only)
Steve Wilson, Engineering/NPDES

FROM: John Hildebrand,

DATE: March 09, 2015

SUBJECT: FILE #: PDEV15-008 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Monday, March 23, 2015**.

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct a 24,735 SF concrete tilt-up, industrial building, on approximately 1.18 acres of vacant land, located on the southeast corner of Francis St and Bon View Ave, at 926 E Francis Street, within the M2 (Industrial Park) zone.

APNs: 1050-461-03, 1050-461-05 and -06

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Police Department Douglas Sorel MGMT ANALYST 3/11/15
Department Signature Title Date



CITY OF ONTARIO MEMORANDUM

TO: John Hildebrand
Planning Department

FROM: Adam A. Panos, Fire Protection Analyst
Fire Department

DATE: April 20, 2015

SUBJECT: PDEV15-008 - A Development Plan to construct a 24,735 SF concrete tilt-up, industrial building, on approximately 1.18 acres of vacant land, located on the southeast corner of Francis St and Bon View Ave, at 926 E Francis Street, within the M2 (Industrial Park) zone. APNs: 1050-461-03, 1050-461-05 and -06

- The plan does adequately address Fire Department requirements at this time.
- No comments.
 - Standard Conditions of Approval apply, as stated below.
- The plan does NOT adequately address Fire Department requirements.
- The comments contained in the attached report must be met prior to scheduling for Development Advisory Board.

SITE AND BUILDING FEATURES:

- A. Type of Building Construction Used: III Ordinary
- B. Roof Materials Used: Wood N/R
- C. Ground Floor Area(s): 24,735 sq. ft.
- D. Number of Stories: 1 story
- E. Total Square Footage: 24,735 sq. ft.
- F. Type of Occupancy: B, S-1, F-1

CONDITIONS OF APPROVAL:

1.0 GENERAL

- 1.1 The following are the Ontario Fire Department ("Fire Department") requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards ("Standards.") It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ci.ontario.ca.us, click on "[Fire Department](#)" and then on "[Standards and Forms.](#)"
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty (20) ft. wide. See [Standard #B-004](#).
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25') inside and forty-five feet (45') outside turning radius per [Standard #B-005](#).
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150') in length shall have an approved turn-around per [Standard #B-002](#).
- 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per [Standard #B-001](#).
- 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox ® brand key switch or padlock to allow Fire Department access. See [Standards #B-003, B-004 and H-001](#).

3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2013 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 3 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.

- 3.2 Off-site street fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- 3.3 Buildings that exceed 100,000 square feet in floor area shall provide an onsite looped fire protection water line around the building(s.) The loops shall be required to have two or more points of connection from a public circulating water main.
- 3.4 The public water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and locations(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.4 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- 4.5 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.6 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.
- 4.7 A fixed fire extinguishing system is required for the protection of hood, duct, plenum and cooking surfaces. This system must comply with National Fire Protection Association

(NFPA) Standards 17A and 96. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

- 4.8 Hose valves with two and one half inch (2 ½") connections will be required on the roof, in locations acceptable to the Fire Department. These hose valves shall be take their water supply from the automatic fire sprinkler systems, and shall be included in the design submitted for these systems. Identification shall be provided for all hose valves per Standard #D-004.
- 4.9 Due to inaccessible rail spur areas, two and one half inch 2-1/2" fire hose connections shall be provided in these areas. These hose valves shall be take their water supply from the automatic fire sprinkler systems, and shall be included in the design submitted for these systems. Identification shall be provided for all hose valves per Standard #D-004.

5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1.3280 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- 5.4 Multiple unit building complexes shall have building directories provided at the main entrances. The directories shall be designed to the requirements of the Fire Department, see Section 9-1.3280 of the Ontario Municipal Code and Standard #H-003.
- 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.
- 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.
- 5.8 The building shall be provided with a Public Safety 800 MHZ radio amplification system per the Ontario Municipal Code Section 4-11.09 (n) and the CFC. The design and installation shall be approved by the Fire Department.

6.0 OTHER SPECIAL USES

- 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.



PLANNING COMMISSION STAFF REPORT

September 22, 2015

SUBJECT: A Conditional Use Permit (PCUP14-028) to establish a metal salvage and scrap yard recycling facility on a 2.38 acre site, located at 901 South Sultana Avenue, within the M3 (General Industrial) zoning district (APN: 1049-353-14).

Submitted by Star Scrap Metal.

PROPERTY OWNER: Matthew P. Gardner

RECOMMENDED ACTION: That the Planning Commission conduct a public hearing on the proposed application. If, after considering all public testimony, Planning Commission finds that the facts support the required findings can be made, approval of the Mitigated Declaration would be appropriate and staff should be directed to prepare a resolution of approval, including the attached department conditions of approval. If, however, the Planning Commission determines that facts to support the findings can not be made, staff should be directed to prepare a resolution of denial.

PROJECT SETTING: The project site is comprised of 2.38 acres of land located at 901 South Sultana Street, within the M3 (General Industrial) zoning district, and is depicted in **Figure 1: Project Location**. The 2.38 acre project site is currently being utilized for vehicle storage and is currently developed with three buildings totaling 11,617 square feet (**Exhibit A: Project Site**). The site is relatively flat and paved with asphalt, sloping from the northwest corner towards the southeast corner of the project site with an approximate 2-foot differential in grade. The project site includes a portion of vacated Carlton Street, from Sultana Avenue on the west to Monterey Avenue on the east. The vacated street is approximately 616 feet in length and runs along the northern portion of the parcel with curb, sidewalk, parkway, underground utilities, overhead utilities and street lights that remain in place. Land uses surrounding the project site include: to the north is



Figure 1: Project Location

Case Planner:	Lorena Mejia	Hearing Body	Date	Decision	Action
Planning Director Approval:		DAB			
Submittal Date:	11/19/2014	ZA			
Hearing Deadline:	n/a	PC	9/22/2015		Final
		CC			Appeal

an industrial warehouse and storage use (Patton's) that is zoned M3 (General Industrial); to the east is a Southern Pacific Railroad Line zoned M1 (Limited Industrial) and wholesale distribution zoned M3 (General Industrial); to the south is an automobile storage and contractors yard zoned M3 (General Industrial); and to the west is a single-family residential neighborhood zoned R2 (Medium Density Residential) (**Exhibit B: Existing Site & Surrounding Land Uses**).

PROJECT ANALYSIS:

[1] Background — The applicant, Star Scrap Metal ("Star") submitted a Conditional Use Permit for the proposed metal salvage and recycling facility on November 19, 2014. The applicant currently operates a metal salvage recycling facility at 14334 East Firestone Boulevard in La Mirada California (**Figure 2: Star Scrap Metal Existing Facility**) located on a parcel adjacent to the Interstate 5 Freeway. Caltrans has exercised eminent domain on their property due to a freeway widening project and has given the applicant until December 2015 to relocate their business to another site. Star Scrap has been operating at their current facility for over 50 years. Staff contacted the City of La Mirada in August to investigate any nuisance or code violations at their existing location and found no active code cases.

[2] Conditional Use Permit — Metal salvage yards and scrap processing facilities are allowed in the M3 zone subject to review and approval of a Conditional Use Permit to ensure compliance with the following requirements established in Article 13 of the Ontario Development Code:

[a] All operations must be conducted on a site at least 300 FT away from any residential dwelling, unless the owner and the occupants of the dwelling consent in writing to the use or operation. *The proposed site plan shows a 300 foot radius from the closest residential structure and has located all outdoor equipment, scrap processing operations outside of the 300 foot buffer. The owners of the property directly west of the project site are opposed to the proposed use.*

[b] Open storage areas in conjunction with the use or operation shall be completely enclosed by a fence or wall not less than 8 FT in height, constructed of solid block, masonry, or metal approved by the Planning Director. The fence or wall shall have gates capable of being locked and set back not less than 10 FT from all interior property lines and not less than 10 FT from any property line adjoining a street. No materials within the enclosed area are to be stored to a height greater than 8 FT. *A 12 foot high decorative masonry wall will surround the project site and all gates are setback a minimum of 10 feet or more from the property line. In addition, mitigation measures and conditions of approval require scrap piles and equipment to be kept below 12 feet and not be visible from the public right-of-way.*

[c] Except for necessary access drives, all setbacks are to be landscaped with dense growing evergreen plant materials which will achieve a height of at least 8 FT and shall be permanently maintained. Outside storage or recycling operations shall not be conducted within a required setback. *The landscape setback areas will be densely landscaped with plant materials mature tree heights greater than 12 feet high.*

[d] All compaction operations are to be conducted within a completely enclosed structure designed to minimize the noise generated by the operations. *The proposed equipment for compacting is designed with a clamshell box to minimize noise impacts.*

[e] A Conditional Use Permit for such use or operation shall be denied if the Planning Commission finds that existing uses or operations of the same type are adequate to meet the City's salvaging or recycling needs. *There are currently 6 metal salvage recycling facilities located throughout Ontario.*

[f] The Conditional Use Permit may be reviewed from time to time by the Planning Commission to verify that conditions of approval are being met. Failure to comply with the conditions of approval is subject to revocation of the Conditional Use Permit in accord with the provisions of Article 9 (Conditional Use Permits) of this chapter. *The proposed mitigation monitoring program includes a bi-annual on-site inspection to verify that the facility is operating in accordance with the mitigation measures and conditions of approval.*

[2] Proposed Use/Operations — Star is proposing to recycle ferrous and non-ferrous metals that are not chemically contaminated (**Exhibit C—Accepted Materials for Recycling**) and the proposed processing techniques include loading and unloading, breaking and separating, baling/compacting and shredding. The proposed processes and equipment (**Exhibit D – Processing Equipment**) are described further below:

- **Loading/Unloading** – Small and large trucks deliver scrap metal to the recycling facility and materials are collected from vehicles by cranes. After materials have been compacted/sorted they are loaded onto shipping containers and removed from the site. The shipping containers are loaded using an acculoader and the crane is used to place scrap metal into the acculoader. The acculoader fits within the shipping containers and horizontally pushes and compresses the scrap metal into the containers. An acculoader is 11 feet high and Star is proposing to have two acculoaders on-site.
- **Breaking and Separating** – Reduction of metal scrap is a necessary component of the facility. The facility is proposing to use alligator sheers for cutting metals and a large stationary shear to compress and cut scrap metal into smaller sizes. The alligator shear is approximately 4 feet high and will be

kept within one of the existing buildings. Star is requesting to utilize a large stationary sheer that is approximately 24 feet high to be located outside on the southeast corner of the property.

- **Baling/Compacting/Shredding** – Star is proposing to use a baler to compact aluminum and scrap metal that is 12 feet high located within the center of the property. Some of the material processed at the facility is insulated wire. To process the wire a cable separation machine will be utilized that shreds wires and plastic into small pieces and separates the plastic and metal. A ringmill and a briquetter are also being utilized to chop scrap metal into fine small pieces and press them into briquettes (small compressed blocks of metal).

Star will operate their facility in a drive-thru like manner with the majority of their business coming from other businesses and contractors that need to recycle larger quantities of scrap metal. Customers remain in their vehicles when entering the site while employees remove scrap metal from their vehicles. Due to safety concerns only customers in vehicles are allowed to enter the site and conduct business. When vehicles enter the site they are weighed by above-ground truck scales, unloaded, weighed a second time, payment is received in accordance with the California Business and Professions Code (CA B&P sections 21600- 21610) and the vehicle leaves the facility. This method for collecting scrap metal from customers takes an average of 15-20 minutes for large truck vehicles and 10 minutes for smaller vehicles. Star expects to process 40 large trucks per day (4 trucks per hour) and 50 – 75 small vehicles per day (5-8 small vehicles per hour). The hours of operation proposed are Monday thru Friday 8:00 a.m. to 5:00 p.m. and Saturday 8:00 a.m. to 12:00 p.m. and have up to 25 employees on-site during operating hours. On-site security is proposed during operating hours to monitor the interior and perimeter of the facility. Security personnel, along with employees, will assist with directing customers in vehicles onto the site and turning walk-in customers away from the facility.

[3] Site Plan/Property Improvements/Vehicle Access — Star is proposing to use the three existing buildings on-site to operate and will not be adding new buildings to the project site (**Exhibit E – Proposed Site Plan**). However, Star is proposing to demolish 1,262 square feet from the building located on the western portion of the site to 6,600 square feet to assist with on-site traffic circulation. Star is being required to make public right-of-way improvements (curb, sidewalk, parkway, remove and replace driveway approaches) along Sultana Avenue and Mission Boulevard, construct a 12-foot high decorative masonry perimeter screen wall, install dense landscaping along Sultana Avenue (17-foot wide landscape planter), Mission Boulevard (10-foot wide landscape planter) and Monterey Avenue (20-foot wide landscape planter), install above ground truck scales and construct an internal 12-foot high block wall to separate scrap metal sorting areas from semi-trailer scales and queuing area (**Exhibit F – Screen Wall Rendering**).

The Applicant has submitted a Preliminary Water Quality Management Plan (PWQMP), which establishes the project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces, and maximizes low impact development (LID) best management practices (BMPs), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes a Storm Shark facility, located at the northeast area of the site, that will capture site runoff and treat it before leaving the site.

To minimize impacts to residential uses to the west, the recycling and processing will take place on the eastern portion of the site. There are three entry points to the project that include two along Mission Boulevard, designated for large trucks and semi-trailers, and one access point along Sultana Avenue, to serve as an employee entrance and small vehicle access. Large trucks and semi-trailers will enter the site along Mission Boulevard and maneuver onto the site and continue in a circular pattern and leave the site from the easterly driveway along Mission Boulevard as depicted on **Figure 3: On-site Vehicle Circulation**. There are three stations that the semi-trailer stops at before leaving the site which include:

- Stopping at the above-ground scales located at the northern portion of the project site for weighing of the vehicle before unloading scrap materials;
- Stopping at southeastern portion of the project site to have their scrap metal unloaded; and
- Continuing west on the property and stopping at the second above-ground scale for weighing the vehicle before continuing in a circular pattern and exiting the site.

Small vehicles entering via Sultana Avenue will drive around the building onto a smaller above-ground scale, the vehicle is weighed, employees remove the metal scrap from the vehicle, and the vehicle is weighed again. The customer continues to loop around the building and exits the facility from Sultana depicted in Figure 3 below.

To address potential stacking of trucks/vehicles entering from Mission Boulevard, the site has been designed with two on-site queuing lanes that are approximately 240 feet in length. The queuing lanes are designed with two above-ground scales that can accommodate two trucks simultaneously and allow for queuing of up to four semi-trailers. The site plan also depicts the location of all equipment and their heights. Storage bin locations are shown and are six to eight feet high. In addition, there are 43 parking spaces being provided on-site that meet the standards of the Ontario Development Code Article: 30 - Parking and Loading Requirements for Recyclable Material Salvage Yards. Parking calculations and ratios are provided in the Technical Appendix.

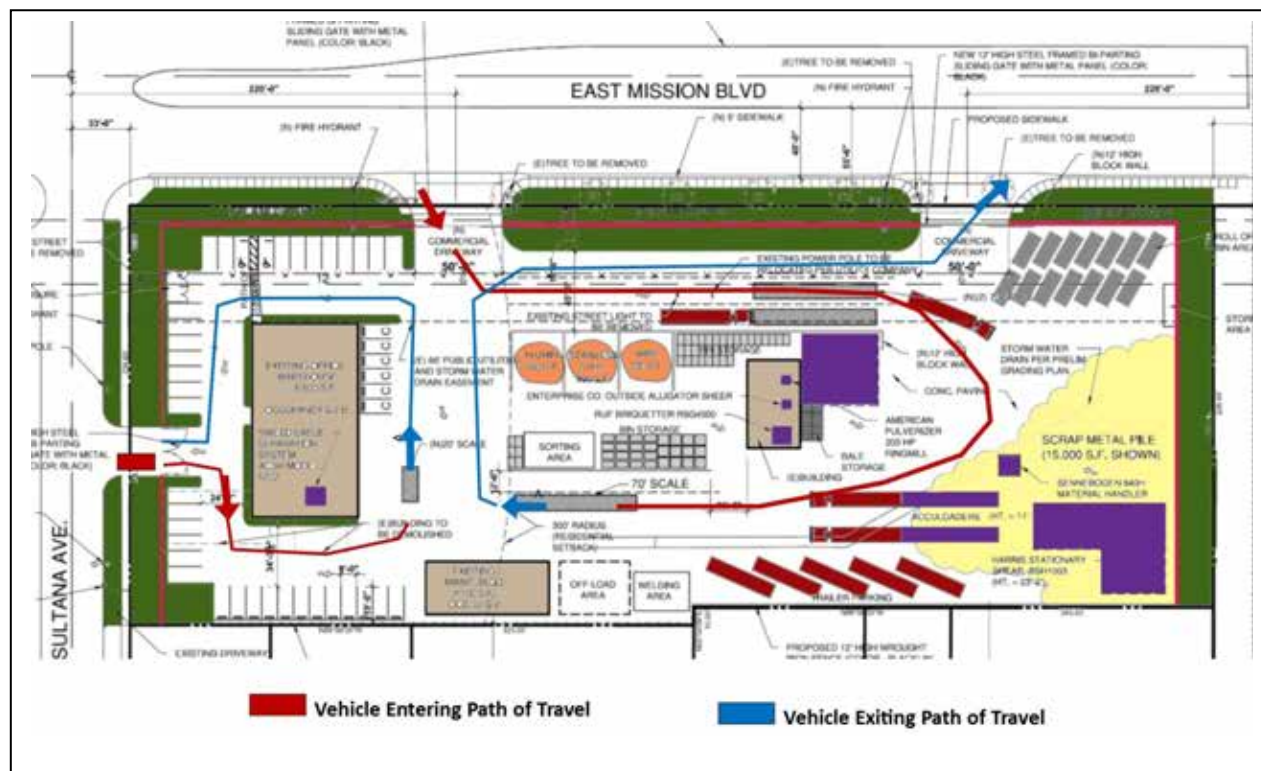


Figure 2: On-site Vehicle Circulation

[4] Surrounding Sensitive Uses – As mentioned previously, there are residential homes located directly west of the project site that are zoned R2 and have a TOP land use designation of Low Density Residential. The project site is located in an area that is surrounded by industrial development to the north, east and south and residential to the west. However, within one-quarter mile of the project site there are other sensitive land uses that include, residential homes to the north, east, south and west and a park located to the north (**Exhibit G – Uses within ¼ Mile of Project Site**). The metal salvage and scrap recycling industry involves a variety of metals and the wide range of processing techniques that may pose a range of safety and health hazards to sensitive uses that were analyzed in the Initial Study and mitigation measures are being required to reduce impacts to a level of less than significant. In addition, community meetings were held and is discussed further in the next section.

[5] Community Meetings — The Planning Department conducted two community meetings to review the subject application with the neighboring residents, receive comments and answer questions on the proposed use. Below is a summary of each meeting.

[a] The first meeting was held on July 13, 2015 and notification was mailed to 84 property owners beyond 300 feet of the project site (**Exhibit H: Map of Residents Notified – 1st Community Meeting**). There were 25 people in attendance with 17 that

signed in. The residents were all in opposition of the proposed use and raised several concerns that are listed below along with responses to their concerns in italics:

1. Overall health risks associated with noise, air quality and traffic.

Overall health risks were analyzed as part of the initial study for this project and mitigation measures are required to address impacts associated with noise, air quality, and traffic. Some of the mitigation measures include building a 12-foot high sound/screen wall, requiring large vehicle access to the site from Mission Boulevard and all require equipment to use advanced dust control features that encapsulate all dust and scrap

2. Proximity to residential, churches, schools and parks.

Residential homes are located directly west of the project site and no recycling or processing activities is being allowed within 300 feet of residential uses. Within a half-mile there are schools, parks, residential homes and churches that are considered sensitive receptors. Sensitive receptors were analyzed as part of the initial study for this project and mitigation measures are required to minimize impacts associated with the proposed use.

3. Parking of vehicles generated by the proposed use within neighboring residential streets.

The project proposes 43 on-site parking spaces that meets the development code requirements of 42 on-site parking spaces.

4. Increase in crime.

Applicant will be providing on-site security during operating hours that will survey the project site.

5. Congregation of homeless near and around the facility;

Facility will only conduct business with customers entering the site on vehicles and will not serve walk-in customers. On-site security and employees will turn away people who are walking in to the site in an effort to deter homeless.

6. Vehicle access from Sultana Avenue.

Driveway access from Sultana Avenue is for employees and small vehicle access. Large vehicles and truck trailers are required to only access the site from Mission Boulevard.

7. Real estate values dropping in the surrounding area.

Staff cannot address the impacts of property values as a result of the proposed use. The project site zoned for industrial uses and therefore appraisals of nearby residential properties will take into account industrial land use designation of the project site and the potential uses. However, public right-of-way improvements are being constructed in conjunction with decorative screen walls and landscape planters to screen on-site equipment and activity. That will assist in reducing impacts to the surrounding area.

8. Large vehicles creating traffic stacking on Mission Boulevard and Sultana Avenue.

On-site queuing for up to four truck trailers is being provided to minimize vehicles from stacking onto Mission Boulevard. The Sultana Avenue entry is intended for small vehicle and employee access only and large vehicles are not permitted to enter from this location.

9. Residents expressed there was social injustice occurring by having an intense recycling use adjacent to low-income residential neighborhoods.

The project site is zoned M3 (General Industrial). The M3 zone allows metal salvage recycling facilities with an approved Conditional Use Permit.

Residents at the first meeting requested a 2nd community meeting and for notices to be sent in English and Spanish. Following the first meeting members of the community also provided written statements in opposition of the proposed use; articles discussing nuisances and hazards with recycling centers in close proximity to residential neighborhoods; excerpts from a web-based message board on Facebook comprised of community members called the Ontario News Zone (ONZ); and an on-line petition on **change.org** that has received 177 signatures to date (**Attachment 1: Written Communication from 1st Community Meeting**). Below is a summary of items submitted to Planning staff:

- **Written Statements** included a comment card from Leticia Gallardo, a letter from Rosemary Ramos, an e-mail from Angel Tian and a letter from Maria Gallardo, a brief summary of each item is provided below:
 - **Leticia Gallardo comment card** – Ms. Gallardo states that she is in opposition of the project for safety, health and property value issues.
 - **Rosemary Ramos letter** – Ms. Ramos is concerned with an increase in truck traffic, dust, air pollution, vehicle emissions, noise pollution, soil and water contamination, vibrations from facility and fire hazards close to

residential homes. She is also concerned with pollutants being released into the air and the effects on residents and schools.

- **Angel Tian e-mail** – Mr. Tian was not able to attend the meeting and is in opposition of the proposed use and explains that others in the neighborhood were not able to attend the meeting and were also in opposition of the proposed use.
- **Maria Gallardo letter** – Ms. Gallardo’s letter discussed how recycling centers can be unsafe and unhygienic and referenced articles with statements from residents living near recycling centers that are having respiratory issues. The letter also discusses air pollution, traffic, real estate and safety/security issues.
- **News Articles** - The residents also submitted copies of two articles regarding recycling facilities.
 - **Daily Bulletin Article** – The first article published by the Daily Bulletin titled “Three-alarm Fire Damages Structures at Fontana Recycling” was submitted to point out the dangers of potential fire hazards at recycling facilities.
 - **David Bacon Article** – The second article published by David Bacon titled “Recycling – Not So Green to its Neighbors” discusses the negative effects on residential uses that are located adjacent to recycling centers over time.
- **ONZ Message Board** – A copy of message board posts from ONZ were submitted and there are a mixture of comments regarding the conditional use permit process and how businesses are established in the City; residents expressing concerns regarding the proposed use; opinions regarding the notification of meetings and what language they should be written in; opinions about the City not investing in the community near the project site and allowing nuisance uses that create blight in their community; discussion about protesting the use; discussions about starting a petition and posts updating ONZ members regarding the 1st neighborhood meeting.
- **Online Petition** – The petition is requesting the City to not approve the use near residential areas and has received 177 on-line signatures.

[b] The second community meeting was held on August 20, 2015 and notification was given in English and Spanish and mailed to 114 property owners beyond 300 feet of the project site (**Exhibit I: Map of Residents Notified – 2nd Community Meeting**). There were 14 community members in attendance. Staff

presented a power point presentation that summarized the concerns from the first meeting, discussed revisions to the site plan to address community concerns, discussed the proposed business operations, received additional comments from the community and discussed the next steps in the entitlement process. The residents continued to be in opposition of the proposed use and raised the same concerns from the first meeting and a few new concerns described below:

- Intersection improvements for right and left turns for north and south bound traffic on Sultana Avenue at the Mission Boulevard intersection;
 - *The Engineering Department will be evaluating this intersection for potential re-striping on Sultana Avenue for a right turn pocket southbound in the future.*
- Noise impacts during day-time operations;
 - *A 12-foot screen/noise wall is being required on all four sides of the property to help reduce noise impacts generated from the project site. Also, major equipment and activity is located on the southeast corner of the project approximately 450 feet away from the closest residential structure.*
- Social environmental justice issues regarding the neighborhood being abused by a variety of industrial uses such as Sunkist and the GE facility in the past;
 - *The project site is zoned M3 which allows a full range of manufacturing, assembly and industrial uses that may have an impact on sensitive uses.*
- Concerns with security and potential crime in and around the facility after-hours;
 - *Applicant will have on-site security during hours of operations that will survey the immediate surrounding area and install a camera security system for after hours, and potentially have on-site security after hours, if needed.*
- Residents expressed concern with the screen wall height and felt it had a prison-like affect and would not be sufficient to mitigate impacts.
 - *The proposed screen wall will integrate berms to minimize heights along Sultana Avenue and incorporate dense landscaping within exterior landscape planters that will assist in buffering the visual impacts of the proposed walls.*

Following the second meeting one written statement in opposition of the proposed use was submitted by Mary G. Ruiz with previously stated concerns of noise and traffic congestion (**Attachment 2: Mary G. Ruiz Comment Card from 2nd Community Meeting**).

CONDITIONAL USE PERMIT FINDINGS: In order for the Planning Commission to approve a Conditional Use Permit, facts to support of the following findings must be made:

- The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code;
- The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety, or welfare or materially injurious to uses, properties or improvements in the vicinity;
- The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety;
- The proposed conditional use will comply with each of the applicable provisions of this chapter.

To approve a Conditional Use Permit, the Planning Commission must find that facts to support all four of the required findings can be made. Should the Planning Commission find that one or more of the findings can not be made, the application should be denied.

COMPLIANCE WITH THE AIRPORT LAND USE COMPATIBILITY PLAN: The project site is located within the Airport Influence Area of LA/Ontario International Airport and has been found to be consistent with the policies and criteria set forth within the LA/Ontario International Airport Land Use Compatibility Plan (ALUCP).

ENVIRONMENTAL REVIEW: The application is a project pursuant to the California Environmental Quality Act (Public Resources Code § 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts. On the basis of the initial study, which indicated that all potential environmental impacts from the Project were less than significant or could be mitigated to a level of insignificance, a Mitigated Negative Declaration was prepared pursuant to CEQA, the State CEQA Guidelines and the City of Ontario Local CEQA Guidelines. Furthermore, to ensure that the mitigation measures are implemented, a Mitigation Monitoring and Reporting Program has been prepared for the Project pursuant to CEQA Guidelines § 15097, which specifies responsible agencies/departments, monitoring frequency, timing and method of verification and possible sanctions for non-compliance with mitigation

measures. The environmental documentation for this project is available for review at the Planning Department public counter.

CONDITIONS OF APPROVAL: Should the Planning Commission find that approval of the application is appropriate, the attached department reports should be included as part of the resolution of approval.

TECHNICAL APPENDIX:

Surrounding Zoning and Land Use:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Vehicle storage	Industrial	M3 – General Industrial	n/a
<i>North</i>	Warehouse/storage	Business Park	M3 – General Industrial	n/a
<i>South</i>	Contractor's Yard	Industrial	M3 – General Industrial	n/a
<i>East</i>	Southern Pacific Railroad Line & Manufacturing and Wholesale	Industrial	M1 – Limited Industrial & M3 – General Industrial	n/a
<i>West</i>	Single Family Residential	Low Density Residential	R2 – Medium Density Residential	n/a

Parking:

<i>Recyclable Material Salvage Yards</i>	<i>Building/Yard Area (in SF)</i>	<i>Parking Ratio</i>	<i>Spaces Required</i>	<i>Spaces Provided</i>
<i>Existing Buildings</i>	10,200	1 space per 300 SF of GFA	34	34
<i>Scrap Yard Area 1st 42,000 SF</i>	42,000	1 space per 7,000 SF	6	6
<i>Scrap Yard Area over 42,000 SF</i>	33,000	1 space for every 20,000 SF	2	3
TOTAL			42	43

Exhibit A: Project Site

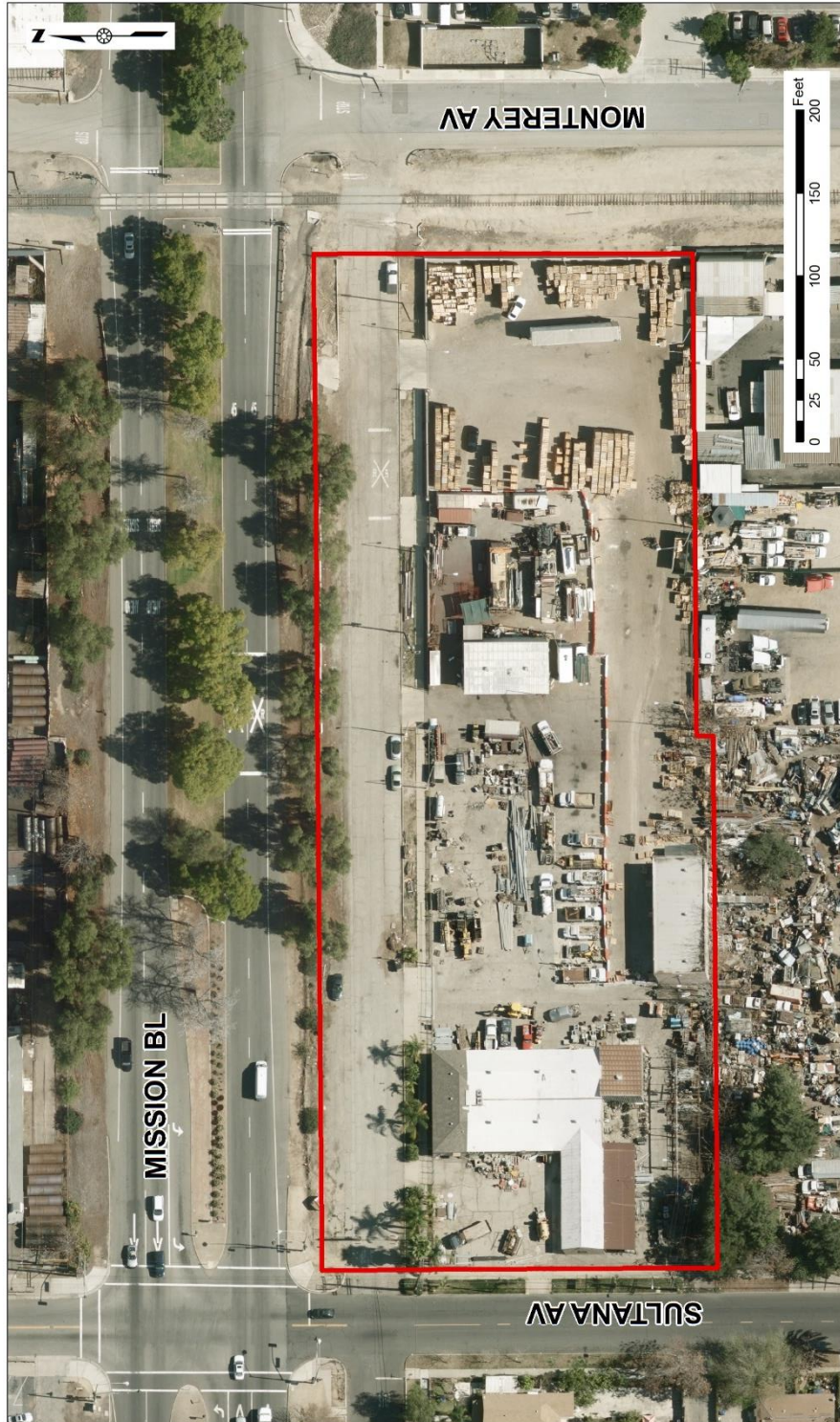


Exhibit B: Existing Site & Surrounding Land Uses



Above: Project Site looking southeast



Above: Project Site looking east towards existing Carlton Street



Above: Project Site looking southwest



Above: Project Site looking west along Mission Boulevard



Above: Residential home west of project site



Above: Industrial uses north of project site



Above: Industrial uses east of project site



Above: Industrial uses south of project site

Exhibit C—Accepted Materials for Recycling



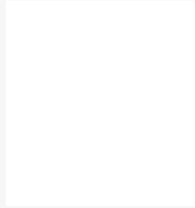
Aluminum



Brass



Cans



Copper



Electronics



High Temp
Alloys



Insulated Wire



Motors



Radiators



Stainless Steel



Steel

Exhibit D – Processing Equipment Proposed

Acculoader—11 Feet tall



Load 20 to 40-foot containers in as little as 10 minutes with the Acculoader™, instead of using a skip steer which could take more than an hour. Designed for any size yard, this unique product for HMS 1 and 2 steel loads products with maximum weight capacity and comes with an integrated scale system that allows for accurate container weight.



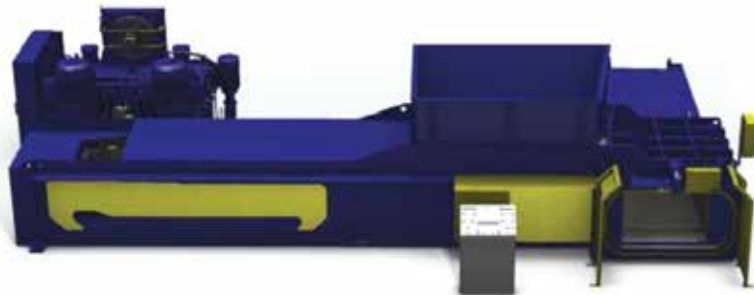
Outside Alligator Sheer, Enterprise Co.— 4 to 5 Feet



APPLICATIONS

- Metal cleaning
- Rebar cutting
- Cable cutting
- Round stock cutting for threading
- Mounted & Unmounted tire cutting
- Bar & Scrap cutting

Harris Baler - new 200 HP—12 feet Tall



Materials Designed to Process

- Cardboard(OCC)
- Newspaper(ONP)
- High Grade Paper
- Mixed Paper
- Solid Waste(MSW)
- C & D
- UBC's
- Aluminum Cans
- Steel Cans
- Plastics
- Nonferrous Metals
- White Goods
- Tin

Briquetter RSG 4000— 4 to 6 feet



Crane with Grappler

Sennebogen 840m Material Handler— 15 to 25 feet

Weitergedacht. Die neue E-Serie.
A step further. The new E-series.

Unsere Erfahrung aus über 60 Jahren in der Konstruktion und im Bau von hydraulischen Greifmaschinen ist in die Entwicklung unserer neuen E-Serie eingeflossen. Das Ergebnis: Kompromisslose Höchstleistung in allen Bereichen. Maximale Investitionen gemäß Stahl-ISO oder entsprechende Entsorgungsanforderungen gewährleisten maximale und stetige Betrieb der Maschine. Hochwertige Komponenten und die Verwendung von Über-Engineering garantieren eine lange Produktlebensdauer und hohe Wertstabilität. Wir denken an zukunftsweisende Generationen.

Our experience gained over 60 years in the design and construction of hydraulic material handling machines has been applied in the development of the new E-series. The result: uncompromising performance in all areas. State-of-the-art design ensures in accordance with ISO or environmental standards, maximum and constant operation of the machine. High-quality components and the use of over-engineering guarantee a long product life and high value stability. We think of the future generations.

- 25% Kraftstoffverbrauch*
*Fuel consumption**

- 50% Stickoxide
Airborne Oxides

- 90% Ballverlust
Material Waste

- 1 Green Efficiency**
 Gut für die Umwelt, gut für Ihre Kosten
 Green Efficiency
 Environmental protection, saving money
- 2 Leistung auf höchstem Niveau**
 Übertrifft Ihre Erwartungen
 Performance on the highest level
 Exceeds your expectations
- 3 Höchster Bedienkomfort**
 Potenziell entspannt und überlastet nicht
 EXCELLENT OPERATING COMFORT
 The operator is relaxed and comfortable
- 4 Maximale Sicherheit**
 Schutz für Mensch und Maschine
 Maximum safety
 Protection for man and machine
- 5 Wartung und Service leicht gemacht**
 Wenig Zeit für das Wesentliche
 Maintenance and service made easy
 Maximum time for the important things



Ringmill by American Pulvizer—4 to 6 feet



American Pulvizer's exclusive rolling ring design is the most efficient crushing element ever developed to reduce material to uniform size. Each ring freely rotates on the shaft and is held in its outward position by centrifugal force. This process reduces by impact rather than sharpness and is free to deflect from tramp metal. Rings are reversible for double wear.

The heat treated steel main shaft revolves in heavy-duty anti-friction bearings, which are enclosed in dust- and air-tight pillow blocks. Rings are installed in a staggered formation covering the entire width of the crushing chamber. Shredder rings are used when a minimum of fines is desired, smooth rings where a maximum of fines is required.

Harris Stationary Shear BSH1003—24 feet



Materials Designed to Process

- Auto Scrap
- Steel Mill Scrap
- Pipe and Plate
- No.1 Heavy Melt Scrap
- No.2 Heavy Melt Scrap
- Selected sections of freight cars and ship scrap

Sweed Cable Separation System 12 to 15 Feet



1. THE SWEED PRECHOPPER

Sweed's Prechopper is a single-shaft shredder that provides rapid reduction of ferrous and non-ferrous scrap material. The closed rotor design allows bulk feeding without overloading the machine. Once the material is loaded into the hopper, it's fed into the rotor using a hydraulic ram. The chopped material can drop into a hopper located under the unit, or it can be conveyed into a separate container or granulator for further processing. Sweed's Prechopper is built for durability and reliability and offers heavy-duty construction in a compact size. Interchangeable screens are available for material size control. The hydraulic powered carriage allows the prechopper screens to be changed quickly and easily. Sweed offers prechoppers in multiple sizes, depending on volume. Each are designed to stand alone or can be placed in-line with a Sweed Separation System.

2. MAGNETIC CROSS BELT

Sweed's powerful magnetic cross belts are positioned over the conveyor to lift steel out of the mixed materials that have been processed in the Prechopper. This system is used to ensure clean division of the ferrous and non-ferrous metals. Hanging the cross-belt over the outtake conveyor increases the system's efficiency and reduces cost!

3. Self Dumping Hopper

The Sweed self-dumping hopper is the fastest, safest, easiest and most economical way to load, transport and dump scrap and bulk material. Sweed's hopper is designed for forklift handling and offers a unique gravity-activated door latch that eliminates the need for hand trip levers or pushing a bin over. This system offers safe, hands-free operation; allowing workers to stay out of harms way. The top loading container is activated by tilting the mast of the forklift forward for complete discharge of contents. As the container tilts, the self-locking mechanism will release the door. As the container is lowered to the ground it will reset and the door will lock. Within a matter of seconds the the hopper is ready to go back to work!

4. GRANULATORS

Granulators are used for reducing large materials down to a chip size. Quality craftsmanship and innovative design are two key elements that set Sweed granulators aside from others on the market. High performance, low maintenance and long term durability are all proven benefits of Sweed granulators; saving you money and time, while helping to achieve your scrap reduction goals. Sweed Granulators come in multiple sizes, and each are built like tanks. When the granulator is hand-fed, the safety infeed hood prevents the operator direct access to the rotor, while still allowing to efficiently feed material. This keeps the operator safe from moving parts, and prevents material from kicking back when the hood is open. The hydraulic powered carriage allows the granulator screens to be changed quickly and easily.

5. DUAL AIR TABLES

Sweed includes a secondary air table on the small footprint separation system. The second table helps create a more efficient system, and improves the separation of copper and aluminum; providing a more pure end result, and preventing losing product in the trash. Sweed uses an open air table design. This provides quick access to material on the table, allowing the operator to easily make adjustments as needed.

6. CYCLONE

The cyclone is used to collect dust generated by the wire chopping process, containing air pollutants and dropping into a container for disposal. The cyclone can be designed to be configured inside or outside of a facility.

Exhibit F – Screen Wall Rendering



STAR SCRAP METAL
801 S. SULTANA AVE.
ONTARIO, CALIFORNIA

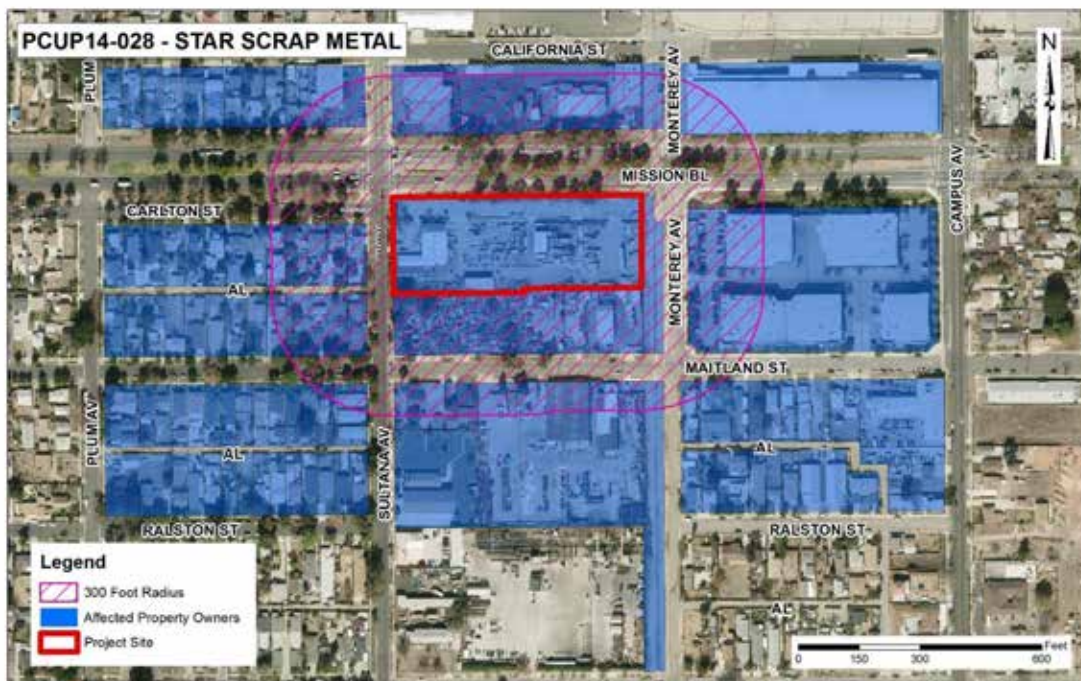
VIEW FROM MISSION BLVD. LOOKING SOUTH-EAST ONTO SITE
2014.095
AUGUST 10, 2015

ARCHITECTS
ENGINEERS
PLANNERS
© 2015 Star Scrap Metal

Exhibit H: Map of Residents Notified – 1st Community Meeting



Exhibit I: Map of Residents Notified – 2nd Community Meeting



PCUP14-028: Star Scrap Metal

Planning Commission Meeting – September 22, 2015

Attachment 1: Written Communication from 1st Community Meeting

- a. Written Statements**
 - i. Leticia Gallardo comment card**
 - ii. Rosemary Ramos letter**
 - iii. Angel Tian e-mail**
 - iv. Maria Gallardo letter**

- b. News Articles**
 - i. Daily Bulletin Article**
 - ii. David Bacon Article**

- c. ONZ Message Board**

- d. On-line Petition**

PCUP14-028: Star Scrap Metal

Planning Commission Meeting – September 22, 2015

Attachment 1: Written Communication from 1st Community Meeting

Written Statements: Leticia Gallardo comment card



COMMUNITY MEETING
COMMENT CARD

PCUP14-028
July 13, 2015

totally against this Project!!!

for safety, health, and Property Value
Issues.

Leticia Gullardo

Name:

432 E. Carlton st. Ontario

Address:

(909) 214-5159

Phone:

Letty 909 @ yahoo.com

E-mail Address:

PCUP14-028: Star Scrap Metal

Planning Commission Meeting – September 22, 2015

Attachment 1: Written Communication from 1st Community Meeting

Written Statements: Rosemary Ramos Letter

July 13,2015

Rosemary Ramos
410 E Phillips st
Ontario, Ca. 91761 (909) 952-0860

To: City Council and Planning Department in regards to permit of a Metal and scrap recycling facility on 901 Saultana Ave , in Ontario. Our community's concerns with this so close to our homes and in our neighborhood is it will bring more Truck traffic which will emit diesel exusts emissions into the air , Dust and dirt pollution , it would generate loud noise pollution , and vibrations that damage homes that live right across the street . Scrap metal dealers handle a lot of hazardous material like battery acid lead cadimium arsenic, VOC's These dirty facility's release pollutants into air, soil and water along with noise pollution and fir hazards. And can lead to many respiratory health problems which threatens environmental and human health . This facility should not be so close to a Jr. high School and blocks away from Euclid Elimentary School and to a residential neighborhood. We have too many recycling centers Main recycling, D and M recycling that are just blocks away blocks away. And many minni recycling collections sites behind Food for less and Sammys market behind Wiener Schezzils. We have Pattons Working Sollutions on Saultana and Mission ,C and J Aircraft supplys, Steal and Metal on Belmont st.,Academy Door Manufacture all with 2 to 3 blocks of the recycling facility to open.

Iam a life long resident of Ontario and 40 yrs living in So. Ontario I want to see improvement of Apartments, new homes growth not and eye sore . This will attract more crime and drug and home people to the area. We are already so close to Distrubution Facilitys with DHE distribution opening on Campus and Woodland. We have enough industrial sites near our home which brings property value down . Please see our situation already.

Thank you on behalf of myself as a home owner' and our community. Do not except application for another recycling center.

PCUP14-028: Star Scrap Metal

Planning Commission Meeting – September 22, 2015

Attachment 1: Written Communication from 1st Community Meeting

Written Statements: Angel Tian E-mail

Lorena Mejia

From: Angel Tian <angelvvip@yahoo.com>
Sent: Thursday, July 16, 2015 12:40 PM
To: Lorena Mejia
Subject: About the metal salvage project site on 901 S Sultana Ave.

Hi Lorena,

I received a paper mail regarding there is a meeting regarding the future project on Sultana Ave. I'm sorry that I missed the meeting.

Is there any conclusion about this project? I think this is a very bad idea this whole project thing.

I believe many ppl in my neighborhood will strongly against this project even they didn't attend the meeting. (people have many reason not to be there, but it doesn't mean it's okay)

I hope the city of ontario can focus on building better community and attract more home owner and business into ontario. Go with industry route will definitely make the city not so friendly to live in.

Since the whole house pricing going up in LA area, many ppl like me newly moved to this area seeing the hope here. But now this place is getting more and more hard to live in.

Anyway, just let you know we care about this meeting and hopefully this project is not happening.

Best regards,

Angel Tian and his family

PCUP14-028: Star Scrap Metal

Planning Commission Meeting – September 22, 2015

Attachment 1: Written Communication from 1st Community Meeting

Written Statements: Maria Gallardo Letter

Regarding: Opposition of "A Conditional Use Permit (PCUP14-028) to establish a metal salvage and scrap recycling center facility"

Location: 901 South Sultana Ave, Ontario 91761

Recycling can be means of protecting and saving the environment. We get that but it can also mean a number of issues to our community.....

Unsafe and Unhygienic Recycling Sites: Recycling sites are often unsafe and unhygienic. Places where all sorts of waste is dumped and conducive for debris formation and spread of disease and other dangers caused by harmful chemicals and waste. This not only causes widespread pollution but is harmful for the residents where the recycling centers reside. When waste is mixed with water, it can lead to leachate formation and leads to toxification of water bodies including drinking water. Dust, debris can be seen from the outside of recycling centers that would fall onto residential homes, parked vehicles as most of the surrounding low-income homes below Mission Blvd. do not have garages to store vehicles. (see attached article on South Seattle Residents Complain of Industrial Dust). An article titled Recycling- Not so Green to Its Neighbors addresses real complaints from residents living near recycling, the complaints are as follow :

"Huge mounds of broken glass rise to twice the height of an adult in the Container Recycling yard. Skip loaders constantly fill open truck trailers with it. From their huge scoops glass pours down in a dusty stream".

"I've lived here 18 years," she says. "My kids have asthma now, and my littlest one, who's 1 1/2, is always sick. I won't even let them play in the yard anymore. The trees around my house have all died anyway."

A neighbor, Ana Cano, wipes her finger across the windshield of a parked van in front of her house, coated with a thick layer of dust. Rubbing it between her fingers, it sparkles and feels grainy. "Little by little, we're breathing this in," she says. "I feel like my lungs are filling up with glass."

"The driveways and walls of the homes of Epifania Oliveria and Thelma Diaz are cracking as the earth shakes from the bone-jarring thump of the metal crusher. A thin film of oil coats their yards, and they say that little metal granules push up through the skin rashes of neighborhood children. When the women brought their complaints to city authorities, they were defeated by the most local laws of all - zoning regulations."

Air pollution, bringing health issues to residents. According to the Natural Resources Defense Council (NRDC) "A recent study estimated that approximately 64,000 people in the United States die prematurely from heart and lung disease every year due to particulate air pollution - than die each year in car accidents". Scrap metal recycling plants often emit lead, cadmium, and mercury into the atmosphere which increase acute respiratory illness most common in children and seniors is Asthma, increased incidence of respiratory symptoms and infections, autoimmune diseases, cancer and birth defects. Recycling centers are often repeat offenders when it comes to polluting their neighborhoods, whether through explosions such as the USA Metal Recycling ' explosion of June 2015 that claim lives and injured workers or such as the Fire at the Fontana Recycling Center (See attached article) through just day-to-day operations.

Traffic Issue: Mission Blvd. and Sultana Ave are known as major traffic intersections, having this recycling facility can multiply traffic congestion thus making it unsafe for commuters as well as residents that ride their bicycles, or walk to the local market, bakery, church and most important the children that walk to and from school(s). The Recycling center will be near other major public resources that allows our community goes to access these public places within a short walking distance, big trucks, traffic congestion all poses a risk for pedestrians making residents to choose to stay home in fear of safety thus making small local business loose business.

- Jalisco Market- 501 S Sultana Ave, Ontario, CA 91761 0.3 Miles
- Juarez Bakery - 728 S Sultana Ave, Ontario CA 91761 0.1 Miles
- Our Lady of Guadalupe Church -710 S Sultana Ave, Ontario CA 91761 0.1 Miles
- Plum Avenue Baptist Church- 705 S Plum Ave, Ontario CA 91761 0.3 Miles
- Primera Iglesia Church- 709 S Plum Ave, Ontario CA 91761 0.3 Miles
- Carniceria Del Valle- 426 E. California St, Ontario CA 91761 3900
- Bon View Park and recreation center 801-859 E. Belmont St, Ontario CA 91761 0.7 Miles
- Euclid elementary School- 1120 S Euclid Ave, Ontario CA 91762 0.5 Miles
- De Anza Middle School- 1450 S Sultana Ave, Ontario CA 91761 0.5 Miles

Regl-estate: The community where the recycling center has proposed to establish is a low-income community established in the early 1950's and most residents have lived there 35+ years. Thus means, they are not going anywhere otherwise, they would have sold and left when economy stabilized after the great down turn economy. Many, have

retired and are living under poverty level today, their homes have not been updated due to hardship and together with the traffic, noise and pollution the recycling center would create it would further depreciate the value of their home, the value of the community in general. In addition, the footprint of the building where the recycling center is proposed does not include parking, or a parking lot thus means customers would park curbside to the residents nearby. The lack of parking space would burden the already limited parking for the community. Many homes surrounding this location do not have garages, do not have driveways to park their vehicles, they park outside.

Safety and security: There are public resources within walking distance to our community, schools, parks, stores, church services that run from 9:00AM -9:00PM seven days a week, that serves the very young and very old. And everyone deserves a safe and clean environment. Recycling centers claim a litany of problems, including littering, and drugs, all which have become a currency in the black market for recyclables. The community is at risk of theft crimes, theft amongst individuals that steal recyclables to make money for their drug or alcohol addiction. Outside of recycling centers such as Main Street Fibers, individuals line the sidewalk outside with shopping carts or trash bags filled with bottles and cans. Behind the recycling center, homeless people sprawl. This is not something our next generation should be exposed to. Our community has worked hard to make it as safe as possible, by getting involved with everyone, getting to know our neighbors and looking out for each other. We have gone the extra mile to create the awareness for safety. Having a recycling center in our community will take that sense of community security and safety for all. Below are some complaints on the rise of crime due to recycling centers.

Alliance recycling complaint on yelp- "I hate this place. It attracts homeless people, prostitutes, drug addicts and drug dealers. This area is bad enough without a hub to encourage theft, and a way to easily turn stolen goods into cash. Very nice services a purchase drugs".

Alliance Recycling complaint on yelp- "This place is the reason for half of the crime in west oakland if you want to see men urinating in public or openly drinking. Just drive by here are so many used needles in front of there business it should be a hazard area. fights daily."

PCUP14-028: Star Scrap Metal

Planning Commission Meeting – September 22, 2015

Attachment 1: Written Communication from 1st Community Meeting

News Articles: Daily Bulletin Article

Three-alarm fire damages structures at Fontana recycling business

By Doug Saunders, San Bernardino Sun

DailyBulletin.com



Fire officials hadn't determined the estimated damage caused by the fire Thursday at the Fontana Recycling Center. (Photo by Doug Saunders)

FONTANA>> A three-alarm fire erupted Thursday at a recycling center, sending one person to the hospital, authorities said.

Fire officials said a person working on an adjacent property suffered smoke inhalation and was taken to Kaiser Permanente Medical Center, where the person was treated and released.

No firefighters were injured, authorities said.

Buildings at the Fontana Recycling Center at 14964 Slover Ave. were engulfed in flames, the San Bernardino County Fire Department reported.

Bales of cardboard were burning.

Firefighters on scene said the fire was a threat to other structures.

"There were some spot fires at the businesses across the street caused by hot embers from this fire," said fire division Chief John McLinn. "We were able to quickly put those fires out."

Power lines were down in the area and loud, small explosions could be heard as the fire barreled down on forklifts, causing the diesel gas tanks to rupture.

Fontana police closed Slover between Live Oak and Hemlock avenues.

Embers ignited a wooden fence at the back side of a home, but firefighters were able to keep the fire from spreading to the residence, fire officials said in a written statement.

"The third alarm was to replenish resources," McLinn said. "Arson investigators are on scene to determine the cause of the fire, but as of now there is no reason to believe this fire is suspicious in nature."

Fire officials said the fire destroyed a modular building, a smaller structure, two vehicles, a semi tractor trailer and several other items on the property, and caused heavy damage to the main Butler building and several other buildings on the property.

Fire officials hadn't determined the estimated damage caused by the fire.

The National Weather Service extended the red flag warning for the Inland Empire through this evening. County fire officials said they will continue higher staffing levels.

Advertisement

Reach the author at doug.saunders@langnews.com or follow Doug on Twitter:

PCUP14-028: Star Scrap Metal

Planning Commission Meeting – September 22, 2015

Attachment 1: Written Communication from 1st Community Meeting

News Articles: David Bacon Article

DAVID *stories* *photographs* BACON

Immigrants

Recycling - Not So Green to Its Neighbors

by David Bacon

HUNTINGTON PARK, CA (9/10/97) - Recycling plants are key components of the effort to create a more environmentally-sustainable economy, but they are often plants which cause environmental problems themselves, especially in the neighborhoods which surround them.

Recycling has an environmentally-friendly image, especially in Los Angeles, where commodity consumption is a secular form of worship. Any vision of a sustainable future here at least mandates the reuse of the basic materials of everyday life. That makes recycling the city's big growth industry.

Twenty years ago, when LA drew up its master plan, the industry hardly existed at all. Today big industrial facilities are mushrooming, collecting and processing glass, metal and concrete. The most recently-opened plant recycles dirt, burning it to rid it of its petroleum residues.

But low-income people living in southeast Los Angeles have a hard time seeing recycling's green image. Their problem? They live near the plants.

"There's always glass in the air here," complains Mercedes Arambula.

Arambula's home is catty-corner from the huge Container Recycling facility on Leota Street in Walnut Park. Huge mounds of broken glass rise to twice the height of an adult in the Container Recycling yard. Skip loaders constantly fill open truck trailers with it. From their huge scoops glass pours down in a dusty stream.

"I've lived here 18 years," she says. "My kids have asthma now, and my littlest one, who's 1 1/2, is always sick. I won't even let them play in the yard anymore. The trees around my house have all died anyway."

A neighbor, Ana Cano, wipes her finger across the windshield of a parked van in front of her house, coated with a thick layer of dust. Rubbing it between her fingers, it sparkles and feels grainy. "Little by little, we're breathing this in," she says. "I feel like my lungs are filling up with glass."

A little further down Alameda Street, the main corridor of the city's industrial heartland, Alameda Street Metal Corp. crushes used cars, trucks and metal appliances. These hunks of used metal travel to Terminal Island in the Los Angeles harbor, and then on container ships to the other side of the Pacific, fueling a global economy of trash.

The driveways and walls of the homes of Epifania Oliveria and Thelma Diaz are cracking as the earth shakes from the bone-jarring thump of the metal crusher. A thin film of oil coats their yards, and they say that little metal granules push up through the skin rashes of neighborhood children. When the women brought their complaints to city authorities, they were defeated by the most local laws of all - zoning regulations.

In balkanized southeast LA, divided into many small cities, they discovered that the plant was located in Lynwood, and zoned industrial, while their homes and the elementary school across the street were in Los Angeles, and zoned residential.

"The city's message to us was that we live in the wrong place. In their eyes, we just shouldn't be there," Diaz says. Ana Cano got the same message when Los Angeles City Councilwoman Gloria Molina came out to look at the impact of the glass dust on their homes. "We have to expect this, she told us, because we live in an industrial neighborhood," Cano recalls.

Both Container Recycling and the office of Councilwoman Molina chose not to comment on the neighbors' allegations. , says "The company has tried to accommodate its operations to meet the concerns of community residents on Wiegand Street," says Mary Greybill, a public relations consultant working for Alameda Street Metal Corp. "We don't operate the crusher after 4 PM." Greybill points to the construction of a wall separating houses from the facility, and says the company has also contributed hundreds of dollars to a local organization, the Watts Century Latino Organization, and donated supplies to its street-sweeping activities. Olivaria feels the actions are an effort to buy off neighborhood opposition.

The neighbors are working-class people. Oliveria's husband drives a lunch truck. When he makes his stops at plants throughout southeast LA, hundreds of workers at break time buy their meals from him. Up and down his street, almost every neighbor is a factory worker. In this community, the plants mean jobs and a living for families. The question is, at what price?

"We understand we all need to work," Diaz says. "But these places have to respect the people in the community which surrounds them. The bottom line is that our community is poor. Everyone in our neighborhood is Black or brown. Many like me are immigrants. And you only find these kinds of companies in poor neighborhoods. Can you imagine a metal recycler in Santa Monica or Hollywood? They just know we can't go anywhere else."

Carlos Porras, Southern California Director of Communities for a Better Environment (CBE), points out that recycling is exempted from most regulation, because it's viewed as an environmentally-positive industry.

Recyclers are not required to obtain discharge permits for pollutants, for instance, and the air quality management district does not monitor small businesses like recyclers. They are not covered by the land-use regulations in the county's master plan, which was written 20 years ago, before the recycling industry existed.

"Public policy has allowed recycling plants to crop up without oversight," Porras says. "This is environmental injustice. Regulations are simply not applied to potentially harmful businesses which are located in low-income communities of color, particularly in southeast Los Angeles."

CBE is one of California's most aggressive environmental organizations, with a long history of fighting corporations over toxic contamination. In 1993 CBE began to organize the bar-rios of southeast LA against some of the highest levels of toxic pollution in the country. Porras calls it "a conscious decision to get grounded as an organization in communities which have become LA's toxic hotspots."

CBE and the neighbors of the recycling plants have formed an alliance to take on the burgeoning industry.

At Aggregate Recycling Systems, a concrete recycler in Huntington Park, this alliance cut its teeth on a gritty, four-year campaign of neighborhood opposition. Although residents of Cottage Street, which runs behind the plant, started out simply trying to control its operations, the company's hardball defiance hardened neighborhood attitudes. Neighbors made support of the recycler the political kiss-of-death at city hall, and the city council finally declared the facility a public nuisance. Although a mountain of discarded concrete still overshadows the neighborhood, and has yet to be removed, residents have stopped the plant's operation completely.

"The city council thought this concrete recycling business would be the first of many such clean and green facilities," says Dean Hickman, who's fought against the concrete mountain from the beginning. "But we not only organized our own neighborhood in response, now we're going to the neighborhoods around other plants, and helping them get organized as well."

Maybe the greenest thing produced by proliferating recyclers will be a new kind of movement for environmental justice.

[Top of Page](#)

[MEXICO](#) | [IMMIGRANTS](#) | [CULTURE](#) | [PHILIPPINES](#) | [PEACE & JUSTICE](#)
[WORKPLACE](#) | [STRIKES](#) | [PORTRAITS](#) | [FARMWORKERS](#) | [UNIONS](#) | [STUDENTS](#)
Special Project: [TRANSNATIONAL WORKING COMMUNITIES](#)
[HOME](#) | [NEWS](#) | [STORIES](#) | [PHOTOGRAPHS](#) | [LINKS](#)

photographs and stories by [David Bacon](#) © 1990-1999

PCUP14-028: Star Scrap Metal

Planning Commission Meeting – September 22, 2015

Attachment 1: Written Communication from 1st Community Meeting

ONZ Message Board

Like · 👍 2 · More · Yesterday at 1:24am



Mayor Paul Leon

Rosemary Ramos, it's not too late. It's time! People here are talking and acting like THE CITY is causing this. NO!!!! The applicant has a RIGHT to apply. The PROCESS is then to ask the PUBLIC, (that's all of you), what their feelings and concerns are. This is exactly the time you are supposed to be heard.

People are saying the city didn't tell them. Well, you see that flyer? That is us telling you. But even if you didn't get one, NOW YOU KNOW.

Nancy Eppard- Bumstead is correct. Blaming the city council is the wrong thing to do. Mobilize a group, get signatures and go to the meeting. Not in anger, but with your side of the issue. State your case and know that you were heard!

Like · 👍 3 · More · Yesterday at 8:30am



I don't see in what way I'm wrong it says it on the paper and I live right in front of the place I personally went to couple neighbors and they didn't receive or know anything about this... Last year happened the same when they were trying to change the zoning in the area and once again no knew about it because they didn't receive a notification the ones that receive it were the once being "affected" sadly I was the only one who went to the meeting last year I was being an active citizen Mr Mayor Paul Leon

Like ·  2 · More · Yesterday at 2:32pm



Jesus N Monique Gallardo

Chris Navarro its the happiness of the people..without the residents of Ontario they wouldn't have customers to buy from the companies that inhabit here! So if the city doesn't care about the happiness of the people like you are saying and just the revenue then

PROCESS. What some of you would like is for the city to go around the process and start with, "NO, you can't operate there!" That's against the law. We follow the law. If you didn't get a flyer there are many possibilities why, but I don't know why you didn't. We sent them to who we must by law.

I am ONE out of FIVE councilmembers who all have the same vote. It has been ME who has been on this page explaining the truth and process, so I guess that means I care enough about YOU to do this. If you choose to be angry with me for following the law, so be it. On the other hand, NEVER assume that your elected officials have made up their minds about anything, until the final vote is taken.

This request has to pass a community forum, (you), then get a positive staff recommendation to the Planning Commission, pass the Planning

to see what we think and want to do so
in approving them .. So my fellow people
of Ontario let's not get mad at anyone ...
We just gotta go to the meeting and tell
the big bosses that we would not like one
here on Santana and mission .. And tell
them thanks But no thanks for the offer ..

Like ·  5 · More · Yesterday at 2:09pm



Rosemary Ramos

True" but the city has the last word.. to
approve their application and they
already know all the businesses around
here that already exist

Like ·  2 · More · Yesterday at 2:22pm



Chris Navarro

Your right Rosemary Ramos it is really at
the end of the day up to the leaders of
Ontario ...

So we gotta really look at like this ..

Ontario is riseing and looking to make

we can all stand together and work together, don't let personalities divide us. BE PREPARED, not ANGRY!!!!!!!!!!

Like ·  5 · More · Saturday at 9:29pm



Miguel Gallardo

Thank you Nancy Eppard- Bumstead

Like ·  1 · More · Saturday at 11:21pm



Rosemary Ramos

We dont need it ! So. Ontario already looks like crap as it is" come on please !!!#

Like · More · Yesterday at 12:28am



Rosemary Ramos

Who would want to live near big dirty trucks and fork lifts going in and out, the dust , the noise have they sat in front of one of these places them self shame on them!!!!

Like ·  1 · More · Yesterday at 12:33am



Rosemary Ramos

Wishing you luck. We all want to live in a nice neighborhood,

Like · More · Yesterday at 8:58am



Jesus N Monique Gallardo

We understand the process but people don't understand our concerns if they don't live in the neighborhood! The whole community should have received the notification and in multiple languages so everyone could understand what is going on..it is no surprise that the City of Ontario is populated with residents that don't speak english. That notification should have been written so everyone could understand and all the community should have received it.

Like ·  3 · More · Yesterday at 9:02am



Judy K Davis

Ok, so express that too. Rally your neighbors in a united concern.

Like ·  1 · More · Yesterday at 9:09am



2010)

Do we really need a another recycling center next to our community?

The city of ontario is planing to give a permit to a recycling company who will open a scrap metal facility in the corner of mission blvd. and sultana ave. The community is concern that this recycling center will make the community worse. The recycling facility will be located 4 blocks away from De Anza Middle School. Residents are concern that this new recycling facility is going to bring crime and air pollution to our residents. We dont really need a recycling center, we already have couple of recycling centers near our nieghborhood(campus ave and main st). City of ontario should build new homes and parks around our community. Please help us voice our concerns this monday from 5pm to 7pm at the ontario city hall!

— with Mayor Paul Leon

Photos from Jose Garcia's post in O.N.Z



are incorrect. We are totally interested in hearing from you.

Once again, the city is not trying to do anything except follow the legal process. We are not actively pursuing anything but the process.

How unfortunate that there is so much accusation, yet no reality to it.

Be an active citizen and let your voice be heard.

Like · 1 · More · Yesterday at 1:43pm



Kate Gibson

Some one who is able to go to the meeting Monday, might be interested in printing out this post and the comments behind it as back up to their own disinterest to the recycling center....

Like · 1 · More · Yesterday at 1:54pm



Chris Navarro

I feel what the mayor is saying .. He is saying that everyone has the right to buy



like this.

Done

spanish.

Like · 8 · More · Saturday at 4:07pm



Judy K Davis

And hopefully ask someone to translate for us.

Like · 1 · More · Saturday at 4:17pm



Robbie Cordero

Relax, not worth getting hot and bothered over it

Like · 1 · More · Saturday at 5:06pm



Allyson Hizey

Why is this page getting so politically correct? Why don't they send it out in all the Asian languages or in Portuguese it French or Italian? Because English is the language in America.

Like · 3 · More · Saturday at 7:28pm





like this.

Done



Cristina Bezak Minook

Most the time they do send it in Spanish and English so I'm Suprised they just did it in english. Kind of makes you think they don't really want anyone opposing it.

Like · 3 · More · Saturday at 4:06pm



Cristina Bezak Minook

But in all fairness if we were in Mexico or Spain we probably would get the flyer in spanish.

Like · 8 · More · Saturday at 4:07pm



Judy K Davis

And hopefully ask someone to translate for us.

Like · 1 · More · Saturday at 4:17pm



Robbie Cordero



industrial) zone district... That's why the rest of the neighborhood didn't receive a notice and since the rest of the neighborhood didn't receive a notice is much easier for the CITY to do this project...why cuz no one knew about this and no one would protest! Thank you Jose Garcia and thank you ONZ for posting this or else no one would know about this!

PLEASE BE ADVISED that the below-described project has been filed with the Ontario Planning Department. This notice has been mailed to you because your property is located near the project site, you may be affected by the project, or because you have requested this notification.

Edited · Like ·  5 · More · Yesterday at 10:13am



Rosemary Ramos

This is true Maria Sosa Morales and dead on. Isaw this here only yesterday and one day to prepare is not enough time. Its seems like the city dosent care how this part of the neighborhood looks like theres back yard machanics everywhere they tear out motors in ther drive ways. Thers mini scrap demolitions

We are worry that residents won't attend this meeting to stop the process of this facility to establish business in our neighborhood. The letter they mailed was only in English and 80 percent of our community is Spanish speaking families. We are not against city officials ,we are against businesses that will make this community worse. Is this business going to help our community? Will this bring more accidents or crime to the community? Will this lower your home value? We could think of 1000 questions for this business. But we think their is more negative concerns than positive if they open this business. Please mayor, help us stop this business to open in our neighborhood!

Like ·  3 · More · Saturday at 4:35pm



Mayor Paul Leon

Miguel Gallardo, get a letter and signatures. take them to the meeting.

straight my man.

Like ·  1 · More · Saturday at 4:55pm




Mayor Paul Leon


Becky Morales Martinez, you have every right to voice whatever opinion you want.

Like ·  1 · More · Saturday at 4:55pm



Nancy Eppard- Bumstead

Like I have always said "Educate Yourselves" Go to the meeting and be prepared. Bashing the city council members will not get you anywhere. Do some research on why it's not a good place to put this business, get the facts!!!!!! Research other cities that have had new Recycle Business's put in and the pro's and con's. Remember this is America and it our right to own a business as long as it is allowed where we want to have it. Walmart had every right to do business in Ontario, and the folks that didn't want it were being ridiculous. Just so you know I live 



regarding how our city is being run. It is hard to believe in the city officials when we see how our part of town is deteriorating.

Like · More · Saturday at 5:21pm



Mayor Paul Leon

Becky, there is only so much we can do. PEOPLE make their neighborhoods. We have done a lot in 15years. I remember not even going south of Mission. TODAY? No problem. We do not own private properties. Form a Neighborhood watch, or a community clean up day, where you get permission that we cannot, to go into private properties and cleanup. Our police force is the best in the state, but they are not gods.They cannot be everywhere at all times. We all need to do more.

Edited · Like ·  7 · More · Yesterday at 3:04pm



Setje Brinkmann Zare

process and get them to withdraw the application. The City Council has stood by us in South Ontario as we fight the monster towers. They do care, really. But you do have to take action as a community as well.

Like ·  3 · More · Saturday at 5:53pm



Ariana Arlen Gallardo

How are we gonna go protest if they didn't send the flyer to the neighborhood

Like ·  3 · More · Saturday at 6:12pm



Ray Gibson

You've got all weekend, start knocking on doors and bring people in. You can do this, if you really care. Thank you Mayor Paul Leon for your input.

Like ·  4 · More · Saturday at 6:43pm



Nancy Eppard- Bumstead

After reading the flyer that Jose Garcia posted my husband and I took a drive

away from the community. We have houses and school near by. Kids and residents are going to be in danger with the traffic this facility is going to bring. Semis are going to go up and down the street. The noise and pollution that it brings. Crime....cooper and other items thieves are going to be stealing. The city have industrial codes where industrial company can do business, we leave in code 3 and the problem is that it's a residential area too. I know this businesses helps the city but why don't they do it away from neighborhoods , there is a lot of open spaces through out the city.

Like ·  6 · More · Saturday at 7:52am



Ray Gibson

I do understand your position. I hope that enough community members show up to the meeting to have their voices heard. Perhaps the city will listen.

Like ·  2 · More · Saturday at 12:36pm

deteriorated , dirty, and our streets are awful and crime has gone up. All these portable recycling centers bring in more and more crackheads . And they want to put a bigger one.I am sure if we take a stroll through the better part of Ontario you do not see as many. They need to focus on the getting the older areas of Ontario cleaned and safe. .

Like ·  3 · More · Saturday at 2:42pm



Miguel Gallardo

I have been living in ontario all my life and i love this city ! I will never move away from ontario. It seems part of our is getting worse. I will attend the meeting on monday to try to stop this, but i think im not going to be succesful! Why? Because are spanish spoken community are always afraid to voice their concerns. I hope and pray this facility opens somewhere else alway from our community!

Like ·  6 · More · Saturday at 3:01pm

trash bags they leave behind its just a really bad idea I live right in front of the place and just by thinking of all the bums and crackheads doesn't make me feel safe anymore!

Like ·  2 · More · Saturday at 3:14pm



Mayor Paul Leon

Everyone needs to calm their jets. The PROCESS is taking place and part of the process is a public meeting. Please do not interpret this as THE CITY doing anything except following the permit process. Your attendance at the meeting is also part of the process. Any business can apply for operation within a permitted zone. This is part of that PROCESS.

To clarify a little, THE CITY does not PLACE businesses, nor do we have the power to DIRECT a business to locate where they would not choose to, unless that was the only place permitted. CITY OFFICIALS are not telling anybody to

are addressing their application through
the permit process.

YOUR voice at the meeting is also
important, so make sure you are there to
be heard.

The misinformation here is that the city is
PROMOTING the permit and/or
PLANNING TO GIVE a permit. NO! We
are making you all aware, with a public
meeting, that a permit has been
submitted, and now it's your turn to be
heard... - as you should expect us to do.

Edited · Like ·  9 · More · Saturday at 3:59pm



Jose Garcia

Just like when resident were agaisnt the
walmart supercenter store and the
process took long but the city still ended
up given the permit to open the store!

Like ·  1 · More · Saturday at 4:06pm



Becky Morales Martinez

Is that where our voices can heard
regarding the rest of this city and how it



they live in a good neighborhood

Like ·  4 · More · Friday at 10:13pm



Candice Casal Johnston

We need a damn Grocery Store!!!

Like ·  7 · More · Friday at 10:17pm



Becky Morales Martinez

So true Miguel..! Our part of town has been deteriorating mor and more, while the other part is kept nice and clean.

Like ·  1 · More · Friday at 10:44pm



Maria Gallardo

Will be there!

Like ·  1 · More · Friday at 10:59pm



Tony Castillo

I live around the corner from there....i dont think we need it here..

Like ·  2 · More · Friday at 11:31pm



Gustavo Jazmine

all of that?

There is an old saying, "there are none so blind as those who refuse to see". I just gave you the run down. How can you even think this issue is done? Now go do you part.

Edited · Like ·  4 · More · Yesterday at 3:00pm



Chris Navarro

Well said Mayor Paul Leon

Like ·  2 · More · Yesterday at 2:54pm



Nancy Eppard- Bumstead

Well said Mayor Paul Leon. Take the advice and don't wait till the last minute to educate yourself. Start today!!

Like ·  2 · More · Yesterday at 3:42pm



Eric N Gema Landgrave

Thank you Mayor Paul Leon for your leadership!!

Like ·  2 · More · Yesterday at 4:00pm



Maria Gallardo

Folks this is an update on today's meeting.. The meeting is not a hearing, it's the 1st step, open house only, where neighbors can voice in comment cards their strong opposition of the scrap metal-recycling center. The planners are bilingual english spanish so everyone is encourage to speak-up... Timing is everything so I hope we can all come together and voice our concerns. After speaking to the associate planner for this project I learned we still have time to write a letter and obtain signatures from our community... I hope we can come together as a community and voice our concerns. Your voice can help make a difference and contribute to a better community, a better Ontario!

Like · 👍 1 · More · 40 minutes ago

Write a comment...

Post

reopening center if we have 2 already
between Allyn and Campus on State and
the second one right in the corner of
Campus between State and Holt why
make a third one on the next street
Sultana? What's really their plans for
Ontario?

Like ·  2 · More · Saturday at 1:28am



Justo Castillo

We dont need that here....to manny meth
heads are comingup all over ontario.

Like ·  3 · More · Saturday at 3:12am



Veda Perez

Sadly Ontatio has always put businesses
before residents. We need more parks
for residents to enjoy the city and not
have to go to other cities to enjoy their
parks. It's all about the business for
Ontario : (

Like ·  3 · More · Saturday at 3:30am



Chris Navarro



Ochoa Manuel

Ya Ontario is getting full of meth heads this will just make it worse,

Like ·  3 · More · Saturday at 6:24am



Ray Gibson

I'm not saying that this is a "good" thing, but why the complaints? You're taking a run down site and turning it into something that could actually bring in tax revenues for the city. How does a recycling center bring crime? There are three parks within the same distance as the school you're talking about. If you want a new grocery store in the neighborhood, then you need to be petitioning the grocery store companies in addition to the city, not just wait for the city to come up with a new use for an old property to start complaining.

Like · More · Saturday at 7:04am

PCUP14-028: Star Scrap Metal

Planning Commission Meeting – September 22, 2015

Attachment 1: Written Communication from 1st Community Meeting

On-line Petition

As you are aware, the City of Ontario made a few residents aware of a Conditional Use Permit (PCUP14-028) to establish a metal and scrap recycling facility known as Star Scrap Metal at 901 S. Sultana Ave. Ontario CA 91761. Our group is organizing and looking for the support of our neighbors and friends to help with the petition to not allow the recycling center Project in/or near the residential Area (Mission, Sultana, Carlton, Maitland, Campus proximities)

We, the undersigned, call on the City of Ontario- Planning Department to not approve the Star Scrap Metal recycling center project in or near residential areas for the reason(s) below:

1. The recycling center would store mountains of waste in the middle of long established residential, shopping, recreational, church and school areas.
2. Recycling centers are responsible for heavy pollution that can bring on illness and disease to the residents
3. Putrid rotting stench will severely affect homes and the quality of life in the area. Residents and children won't enjoy spending time outside.
4. We will see an increase in trash, litter, shopping carts scattered around the streets from torn bales of rubbish and people leaving non-recyclable items behind.
5. The safety of children, pedestrians and commuters would be compromised due to the heavy traffic the recycling center will bring
6. The recycling center will attract more homeless and transients from out-side the community, making it unsafe and uncomfortable for the local children and residents.
7. The recycling center will bring an increase in residential break-in's/theft of glass, cans, and aluminum to recycle for money.
8. Property value will depreciate due to the: filth, traffic, lack of safety, pollution, the overall deterioration of the community brought on by the recycling center.

Please sign our petition online, and share this link/post or print the attached documents for manual signatures for individuals without internet access.

Sincerely,

Ontario resident and a proud member of ONZ!

Signatures

Name	Location	Date
Maria Gallardo	, United States	2015-07-14
Rebecca Martinez	Ontario, CA, United States	2015-07-14
Jesus Gallardo	Ontario, CA, United States	2015-07-14
viviana anderson	ontario, CA, United States	2015-07-14
Isela Mercado	Ontario, CA, United States	2015-07-14
Judy Davis	Ontario, CA, United States	2015-07-14
Javier espinoza	Ontario, CA, United States	2015-07-14
lisa payne	Ontario, CA, United States	2015-07-14
jocelyn andrade	South El Monte, CA, United States	2015-07-14
Frank Perez	Ontario, CA, United States	2015-07-14
Nancy Bumstead	Ontario, CA, United States	2015-07-14
Angela Rodriguez	Ontario, CA, United States	2015-07-14
christina sanchez	ontario, CA, United States	2015-07-14
Stacy Yurk	Ontario, CA, United States	2015-07-14
maria smith	Rancho Cucamonga, CA, United States	2015-07-14
Mindy Duran	Pomona, CA, United States	2015-07-14
Leticia Gallardo	Ontario, CA, United States	2015-07-14
Xavier Lopez	Ontario, CA, United States	2015-07-14
Fernando garcia	Ontario, CA, United States	2015-07-14
Elizabeth Helton	Rialto, CA, United States	2015-07-14
Rosemary Ramos	Ontario, CA, United States	2015-07-14
Miguel Gallardo hr	Ontario, CA, United States	2015-07-14
sandra gallardo	Hawaiian Gardens, CA, United States	2015-07-14
Dina Zamorano	Rahway, NJ, United States	2015-07-14
anna ponce	Ontario, CA, United States	2015-07-14
Deborah Raymond	Ontario, CA, United States	2015-07-14
Teri Ludwig	Ontario, CA, United States	2015-07-14
Brisa palacios	Ontario, CA, United States	2015-07-14
Jame Rodriguez	Ontario, CA, United States	2015-07-14
Connie De La Cruz	Ontario, CA, United States	2015-07-14

Name	Location	Date
veronica galvan	moreno valley, CA, United States	2015-07-15
Ruben Rosales	Ontario, CA, United States	2015-07-15
Pamela Wood	Saint Paul, MN, United States	2015-07-15
richard eppard	Bloomington, CA, United States	2015-07-15
Amy Vertiz	Ontario, CA, United States	2015-07-15
Monique Gallardo	Ontario, CA, United States	2015-07-15
lizeth Marquez	Riverside, CA, United States	2015-07-15
Jesse Gonzalez	Ontario, CA, United States	2015-07-15
Alexandra Velasquez	Ontario, CA, United States	2015-07-15
Michael Ureno	Ontario, CA, United States	2015-07-15
Rebecca Franco	Ontario, CA, United States	2015-07-15
glenn rowlands	Ontario, CA, United States	2015-07-15
Montesinos Maria	Ontario, CA, United States	2015-07-15
Gary Mccracken jr	Ontario, CA, United States	2015-07-15
Natalie Miles	Ontario, CA, United States	2015-07-15
JOE Velasquez	Ontario, CA, United States	2015-07-15
Miriam Aguirre-Jacobo	Ontario, CA, United States	2015-07-15
sophia barrera	Ontario, CA, United States	2015-07-15
Beatrice Aramda	Ontario, CA, United States	2015-07-15
Cindy Esquivel	Phoenix, AZ, United States	2015-07-15
COURTNEY BRADEN	Ontario, CA, United States	2015-07-15
yalie tirado	Ontario, CA, United States	2015-07-15
Jess Rios	Ontario, CA, United States	2015-07-15
Jennifer Sanchez	Ontario, CA, United States	2015-07-15
Alicia Rodriguez	Ontario, CA, United States	2015-07-15
Alfredo Paz	Ontario, CA, United States	2015-07-15
Yvette Morales	Montclair, CA, United States	2015-07-15
Jorge Briseno	Fontana, CA, United States	2015-07-15
Delfina Hernandez	Ontario, CA, United States	2015-07-15
Nick Gomez	Montclair, CA, United States	2015-07-15
Veda Perez	Ontario, CA, United States	2015-07-15
Andrea Alvarado	Ontario, CA, United States	2015-07-15

Name	Location	Date
MaryAnn Bantillo	Ontario, CA, United States	2015-07-15
Nelida Torres	Ontario, CA, United States	2015-07-15
Luz Benitez	Ontario, CA, United States	2015-07-15
Trista Hughes	Ontario, CA, United States	2015-07-15
Jenny Velez	Ontario, CA, United States	2015-07-15
Anita Delatorre	Ontario, CA, United States	2015-07-15
sara wright	Ontario, CA, United States	2015-07-15
Alexis Rosales	Ontario, CA, United States	2015-07-15
Laura Haakma	Ontario, CA, United States	2015-07-15
leidy gallegos	ontario, CA, United States	2015-07-15
Belinda Castaneda	Ontario, CA, United States	2015-07-15
Cheri Travis	Ontario, CA, United States	2015-07-15
rafael Gallegos	Ontario, CA, United States	2015-07-15
Ryan Santana	Rancho Cucamonga, CA, United States	2015-07-15
Nicole Perez	Ontario, CA, United States	2015-07-15
Kathy Rivera	Ontario, CA, United States	2015-07-15
Linda Gonzalez	Ontario, CA, United States	2015-07-16
cynthia ramos	Ontario, CA, United States	2015-07-16
Monica Vasquez	Ontario, CA, United States	2015-07-16
Cristina Gutierrez	Ontario, CA, United States	2015-07-16
Noemi Garrison	Ontario, CA, United States	2015-07-16
Kimberly McMillan	Ontario, CA, United States	2015-07-16
Blanca Morgan	Ontario, CA, United States	2015-07-16
Dana Dauser	Ontario, CA, United States	2015-07-16
Dolores Huerta	Ontario, CA, United States	2015-07-16
Martina rangel-Ortega	ontario, CA, United States	2015-07-16
Luz Sanchez	Upland, CA, United States	2015-07-16
Lucero Escobar	Ontario, CA, United States	2015-07-16
Ismael Jimenez	Fort Worth, TX, United States	2015-07-16
Brenda Bechtel	Rancho Cucamonga, CA, United States	2015-07-16
Robert Lawhon	Ontario, CA, United States	2015-07-16
maria zacarias	Ontario, CA, United States	2015-07-16

Name	Location	Date
Marie Garcia	Ontario, CA, United States	2015-07-16
Ruben Daniel	Ontario, CA, United States	2015-07-16
Irene Lopez	Ontario, CA, United States	2015-07-16
Carla Ochoa	Ontario, CA, United States	2015-07-16
Susie Wallace	Ontario, CA, United States	2015-07-16
Adriana gomez	Ontario, CA, United States	2015-07-16
guadalupe ramirez	Ontario, CA, United States	2015-07-16
Mayra garcia	Ontario, CA, United States	2015-07-16
Yolie Lopez	Ontario, CA, United States	2015-07-16
Liliana Gonzalez	Ontario, CA, United States	2015-07-16
maria sosa	Ontario, CA, United States	2015-07-16
luis valdez	Ontario, CA, United States	2015-07-17
Daisy Zapata	Ontario, CA, United States	2015-07-17
jose urzua	Ontario, CA, United States	2015-07-17
Martha Arreola	Ontario, CA, United States	2015-07-17
martha gutierrrz	Ontario, CA, United States	2015-07-17
Eric O'Neal	Ontario, CA, United States	2015-07-17
Jessica Lopez	Ontario, CA, United States	2015-07-17
VANESSA MATA	ontario, CA, United States	2015-07-17
Patricia Rosales	Hesperia, CA, United States	2015-07-17
Stephanie Jette	Ontario, CA, United States	2015-07-17
Mayra Lopez	Ontario, CA, United States	2015-07-17
Ariana gallardo	Ontario, CA, United States	2015-07-17
Jose escalante	Ontario, CA, United States	2015-07-17
Monica Delgado	Ontario, CA, United States	2015-07-17
Griselda Arredondo	Ontario, CA, United States	2015-07-18
Celina Lopez	Ontario, CA, United States	2015-07-18
Bertha Arias	Ontario, CA, United States	2015-07-18
Vianca Hernandez	Ontario, CA, United States	2015-07-18
Day Teague	Ontario, CA, United States	2015-07-18
Aracelia Ruiz	La Puente, CA, United States	2015-07-19
Jasmine Gallardo	Ontario, CA, United States	2015-07-20

Name	Location	Date
marcela covarrubias	Ontario, CA, United States	2015-07-20
Evangelina Lliles	Ontario, CA, United States	2015-07-20
Jennifer Cholula	Ontario, CA, United States	2015-07-20
Blanca Lango	Ontario, CA, United States	2015-07-20
Ana flores	Ontario, CA, United States	2015-07-21
Andrea Carson	Upland, CA, United States	2015-07-21
Norma Garcia	Ontario, CA, United States	2015-07-21
Maricela Rodriguez	Ontario, CA, United States	2015-07-21
Al Pacheco	Ontario, CA, United States	2015-07-21
Nancy Starkins	Ontario, CA, United States	2015-07-21
SUSAN FLORES	Ontario, CA, United States	2015-07-23
Ruben Lopez	Ontario, CA, United States	2015-07-24
ari herrera	Ontario, CA, United States	2015-07-24
Viridiana Padilla	Ontario, CA, United States	2015-07-24
Eric Canavan	Ontario, CA, United States	2015-07-25
Mary Gonzalez	Ontario, CA, United States	2015-07-25
Jocelyn Arteaga	Ontario, CA, United States	2015-07-25
Jacob Garcia	Ontario, CA, United States	2015-07-25
Christina Gomez	Ontario, CA, United States	2015-07-25
Jerry Aparicio	Baldwin Park, CA, United States	2015-07-25
Maxine Hermosillo	Ontario, CA, United States	2015-07-25
kayla sagasta	Ontario, CA, United States	2015-07-25
RICHARD RIOS	Upland, CA, United States	2015-07-25
Laura Lewis	Ontario, CA, United States	2015-07-27
Flor Valenzuela	Ontario, CA, United States	2015-07-28
Francisco Gallardo	Ontario, CA, United States	2015-07-28
Janet Rafferty	Ontario, CA, United States	2015-07-28
Alex Suhovy	Ontario, CA, United States	2015-07-28
melissa gomez	Ontario, CA, United States	2015-07-28
David Lopez	Ontario, CA, United States	2015-07-28
Giselle Canedo	Ontario, CA, United States	2015-07-29
Andrea Davis	Ontario, CA, United States	2015-07-29

Name	Location	Date
veronica arroyo	Ontario, CA, United States	2015-07-31
consuelo Gutierrez	Ontario, CA, United States	2015-07-31
Miguel barajas	Ontario, CA, United States	2015-08-03
Doria Trujillo	Ontario, CA, United States	2015-08-04
Melissa Flores	Ontario, CA, United States	2015-08-05
Marisela Gallardo	Hawaiian Gardens, CA, United States	2015-08-11
angel gonzalez	Fontana, CA, United States	2015-08-11
Pearl Cibrian	Ontario, CA, United States	2015-08-11
liz romero	Ontario, CA, United States	2015-08-12
Jennifer Mena	Ontario, CA, United States	2015-08-12
Dean York	Ontario, CA, United States	2015-08-13
jose zapata	Ontario, CA, United States	2015-08-13
Rommel Rodriguez	Ontario, CA, United States	2015-08-13
Jacob Lopez	Ontario, CA, United States	2015-08-13
Dee Estrada	Fontana, CA, United States	2015-08-13
Carolyn Francis	Ontario, CA, United States	2015-08-14
Rudy Molina	Ontario, CA, United States	2015-08-14
Vicente Guerrero	Rialto, CA, United States	2015-08-15

Comments

Name	Location	Date	Comment
Rebecca Martinez	ontario, CA	2015-07-14	We do not need another recycling center in Ontario. We need to clean up Ontario. It will bring more drug addicts to the neighborhoods.
Judy Davis	Ontario, CA	2015-07-14	Ontario already has enough recycling centers. Keep residential areas residential and not mixed with industrial use.
Frank Perez	Ontario, CA	2015-07-14	We have enough in this city
Nancy Bumstead	Ontario, CA	2015-07-14	I care about ONTARIO
maria smith	rancho cucamonga, CA	2015-07-14	Because there is no reason for another recycling location in the city.
Xavier Lopez	Ontario, CA	2015-07-14	I think this is too close to schools.
Elizabeth Helton	CA	2015-07-14	I lived in the city of Ontario for 30 years, and I also have many family members currently living in the city.
Rosemary Ramos	Ontario, CA	2015-07-14	No"to another recycling center on Mission and Saultana ,Ontario
Deborah Raymond	Ontario, CA	2015-07-14	I believe that the people of Ontario have a choice about who and what their neighbors are.
Brisa palacios	Ontario, CA	2015-07-14	Brisa Palacios
Pamela Wood	Saint Paul, MN	2015-07-15	Please stop this irresponsible, senseless act. How short sighted to dump on a residential area!
richard eppard	Bloomington, CA	2015-07-15	should not be in or near a residential area
Jesse Gonzalez	Ontario, CA	2015-07-15	We don't need this in our neighborhood, Do it in an industrial area!
JOE Velasquez	Ontario, CA	2015-07-15	I DONT AGREE WITH ANOTHER RECYCLING PLACE.
Beatrice Aramda	Ontario, CA	2015-07-15	I think its unnecessary we have so many we need something for the homeless ...
courtney braden	Ontario, CA	2015-07-15	Need to relocate this center, We have enough along with the rif raft, That needs to be cleaned up first. and homeless taken care of!
Alfredo Paz	Ontario, CA	2015-07-15	No good we got one near bye already
Jorge Briseno	Fontana, CA	2015-07-15	Jorge luis briseno
Nick Gomez	Montclair, CA	2015-07-15	I grew up in that area and it's bad enough the way it is. We should be rebuilding and beautifying that area not running it down even further.
Veda Perez	Ontario, CA	2015-07-15	I feel Ontario has much more property to build a recycling center than next to a residential area.. Please reconsider this plan..
Andrea Alvarado	Ontario, CA	2015-07-15	I care about our city
MaryAnn Bantillo	Ontario, CA	2015-07-15	I am a resident of Ontario
Nelida Torres	Ontario, CA	2015-07-15	A recycling center in this area is not good. There are grocery stores, a bakery, churches, parks and many homes neighboring this location. The stench would not only affect them but I'm sure will be brought up to downtown on windy days. Homes would depreciate and crime (theft) may increase.

Name	Location	Date	Comment
Anita Delatorre	Ontario, CA	2015-07-15	I grow up on Park street and have lots of memories from my neighborhood. We had a beautiful street with loving and caring families. Our neighborhood was clean and with a warm environment! Now I go back and I am disgusted with the trash, smell and bin storages on campus with giraffe. How can Mr. Paul Leon the mayor of Ontario permit these people to have this recycling in a housing area. Just because this is a low-income area does not mean that the area should be trashed. The city has to place guidelines and regulations with policies to follow. I am a home owner and we have to follow city regulations. Please clean up this dirty area and make it beautiful like it was with a warm and loving environment. But most of all make a change for residencies in that area from Campus to Euclid and Mission to Holt area. This is a Health and Safety Issue and the City mayor needs to look into this area! Anita Delatorre tonytiger40@verizon.net !
Cheri Travis	Ontario, CA	2015-07-15	I'm signing because I do not want more pollution in and around our city.
rafael Gallegos	Ontario, CA	2015-07-15	I dont want more recycling we have enough if i lived near there i wouldnt like so i dont want any near me
Ryan Santana	Rancho Cucamonga, CA	2015-07-15	This would be a terrible thing to do to the people living in this area. Please keep the neighborhood safe and free of pollutants.
Kathy Rivera	Ontario, CA	2015-07-15	Paul Leon should put this near his house! I doubt he would approve of it then!
Linda Gonzalez	Ontario, CA	2015-07-16	There are enough recycling centers in Ontario already
Kimberly McMillan	Ontario, CA	2015-07-16	There is enough...
ismael jimenez	Haltom City, TX	2015-07-16	Ontario don't need it
Marie Garcia	Ontario, CA	2015-07-16	The quality of life will be reduced by allowing this recycling center in a residential area.
Susie Wallace	Ontario, CA	2015-07-16	I live in the area and this is not the place for a recycling/scrap yard
Yolie Lopez	Ontario, CA	2015-07-16	Because Ontario already has enough recycling centers.
Liliana Gonzalez	Ontario, CA	2015-07-16	We have enough recycling centers in our city and neighbor cities.
luis valdez	Ontario, CA	2015-07-17	Too many families live in that area. Ontario has other locations such as the empty lots by airport and grove.
Eric O'Neal	Ontario, CA	2015-07-17	This is not a good location for a recycling/scrap yard.
Stephanie Jette	Ontario, CA	2015-07-17	A more suitable location should be found within the city for this company. This is too close to neighborhoods where families with children should be comfortable, safe, and free from that kind of pollution as they go about their lives.
Ariana gallardo	Ontario, CA	2015-07-17	I live right across the street this project going to bring a big change in our community and pollution health problems and a lot of traffic for children's and adults
Jose escalante	Ontario, CA	2015-07-17	I don't want a recycling smell next door
Griselda Arredondo	Ontario, CA	2015-07-18	This is not healthy for our families and children!
Bertha Arias	Ontario, CA	2015-07-18	Bertha arias
Vianca Hernandez	Ontario, CA	2015-07-18	I belive our city and the residents deserve a clean and healthy city.

Name	Location	Date	Comment
SUSAN FLORES	Ontario, CA	2015-07-23	The recycling center on Campus St is a disgrace!! Citizens have to keep homes clean, yet the city does not demand that the recycling center upkeep their premises from one side of the street to the other side and down a few blocks!! Do not think that it goes unnoticed. The taxpayers of this county did not approve this facility. Clean it up!! from Holt Blvd to Mission Blvd it is a mess. Where is our money going? We vote for politicians and they don't see our streets, the companies that make a mess! I vote NO!! NO!!! NO!!!
ari herrera	Ontario, CA	2015-07-24	I'm very upset that this even crossed someones mind
Jerry Aparicio	Baldwin Park, CA	2015-07-25	Because I care about people
Francisco Gallardo	Ontario, CA	2015-07-28	I live in Ontario and I don't want the recycling center near homes schools or churches
melissa gomez	Ontario, CA	2015-07-28	I don't approve to recycling center because we have homes, school, markets in the area. A park sounds like a better idea & the kids would love it.
David Lopez	Ontario, CA	2015-07-28	I agree with the statements in the petition. A visit to the local recycling centers will prove everything outlined in the petition to be true.
veronica arroyo	ontario, CA	2015-07-31	Due to all effects, especially the safety and illness that thus can cause to us living in the local areas...
consuelo Gutierrez	Ontario, CA	2015-07-31	I have lived here all my life we don't need trash here I say hell no but it in rich people area
Miguel barajas	Ontario, CA	2015-08-03	Ontario already has plenty of problems we don't need a smelly city
Melissa Flores	Ontario, CA	2015-08-05	Ontario has been my home for almost my entire life , I have children of my own and I would like them not to be surrounded with junk , waste, conditions that sour our city and effect our health/children's health. Keep our /my children's future free from city destruction , waste , ectthank you
Rommel Rodriguez	Ontario, CA	2015-08-13	don't want that in my neighborhood!
Dee Estrada	Fontana, CA	2015-08-13	Delia Eguia and ArmandOSaucedO

PCUP14-028: Star Scrap Metal

Planning Commission Meeting – September 22, 2015

Attachment 2: Mary G. Ruiz Comment Card from 2nd Community Meeting

Sept 22 Planning Commission



COMMUNITY MEETING
COMMENT CARD

PCUP14-028
AUGUST 20, 2015

Scott Murphy Planning Commissioner

Overview of First Meeting

Business Hours 8-5 M-F 8-12 Sat

potential Impacts: Sidewalks

Street does belong to the owner

Concerns: Noise, traffic congestion

Name: Ruiz Family Owner

Address: 410 E. CALIF ST. Ontario
426 E. CALIF ST. "

MARY G. RUIZ

Phone: 983-9998

E-mail Address:

California Environmental Quality Act Environmental Checklist Form

City of Ontario
Planning Department
303 East "B" Street
Ontario, California
Phone: (909) 395-2036
Fax: (909) 395-2420



Project Title/File No.: PCUP14-028

Lead Agency: City of Ontario, 303 East "B" Street, Ontario, California 91764, (909) 395-2036

Contact Person: Lorena Mejia, Associate Planner

Project Sponsor: Star Scrap Metal, 14372 East Firestone Boulevard, La Mirada, CA

Project Location: The project site is located in southwestern San Bernardino County, within the City of Ontario. The City of Ontario is located approximately 40 miles from downtown Los Angeles, 20 miles from downtown San Bernardino, and 30 miles from Orange County. As illustrated on Figures 1 through 3, below, the project site is located 901 South Sultana Avenue.

Figure 1—REGIONAL LOCATION MAP



Figure 2—VICINITY MAP



Figure 3—AERIAL PHOTOGRAPH



General Plan Designation: Industrial

Zoning: M3 – General Industrial District

Description of Project: A Conditional Use Permit to establish a metal salvage and scrap yard recycling facility on a 2.38 acre site, located at 901 South Sultana Avenue, within the M3 (General Industrial) zoning district (APN: 1049-353-14). The applicant is proposing to recycle ferrous and non-ferrous metals that are not chemically contaminated and the proposed processing techniques include loading and unloading, breaking and separating, baling/compacting and shredding. The project does not include the construction of any new buildings however it does include the following improvements: public right-of-way improvements (curb, sidewalk, parkway and new driveway approaches); a 12-foot perimeter screen wall; partial demolition of an existing building (1,262 SF to be removed from a 7,862 SF building); landscaping and installation of truck scales.

Project Setting: The 2.38 acre project site is currently being utilized for vehicle storage and is currently developed with three buildings totaling 11,617 square feet. The site is relatively flat and paved with asphalt, sloping from the northwest corner towards the southeast corner of the project site with an approximate 2-foot differential in grade. The project site includes a vacated street (Carlton Street) approximately 616 feet in length along the northern portion of the parcel with curb, sidewalk, parkway, underground utilities, overhead utilities and street lights that remain in place.

Surrounding Land Uses:

	<u>Zoning</u>	<u>Current Land Use</u>
▪ North—	M3(General Industrial)	Warehouse/Storage
▪ South—	M3(General Industrial)	Contractor’s Yard
▪ East—	M1(Light Industrial) & M3(General Industrial)	Southern Pacific Railroad Line & Manufacturing/Wholesale
▪ West—	R2(Medium Density Residential)	Single Family Residential

Other public agencies whose approval is required (e.g., permits, financing approval or participation agreement): (Insert description)

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | |
|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Biological Resources |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology / Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials |
| <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Land Use / Planning |
| <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Utilities / Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

DETERMINATION (To be completed by the Lead Agency):

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a "potentially significant" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature

9/3/2015

Date

Lorena Mejia, Associate Planner

Printed Name and Title

City of Ontario Planning Department

For

EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect is significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from the "Earlier Analyses" Section may be cross-referenced).

- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a) Earlier Analyses Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g. general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources. A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
 - a) The significance criteria or threshold, if any, used to evaluate each question; and
 - b) The mitigation measure identified, if any, to reduce the impact to less than significance.

<i>Issues</i>	<i>Potentially Significant Impact</i>	<i>Less Than Significant With Mitigation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
1) AESTHETICS. Would the project:				
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2) AGRICULTURE AND FOREST RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest protocols adopted by the California Air Resources Board. Would the project:				

<i>Issues</i>	<i>Potentially Significant Impact</i>	<i>Less Than Significant With Mitigation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3) AIR QUALITY. Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is nonattainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4) BIOLOGICAL RESOURCES. Would the project:				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<i>Issues</i>	<i>Potentially Significant Impact</i>	<i>Less Than Significant With Mitigation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5) CULTURAL RESOURCES. Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6) GEOLOGY AND SOILS. Would the project:				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury or death involving:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18 1 B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7) GREENHOUSE GAS EMISSIONS. Would the project:				

<i>Issues</i>	<i>Potentially Significant Impact</i>	<i>Less Than Significant With Mitigation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emission of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8) HAZARDS AND HAZARDOUS MATERIALS. Would the project:				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within the safety zone of the airport land use compatibility plan for ONT or Chino Airports, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9) HYDROLOGY AND WATER QUALITY. Would the project:				
a) Violate any other water quality standards or waste discharge requirements or potential for discharge of storm water pollutants from areas of material storage, vehicle or equipment fueling, vehicle or equipment maintenance (including washing), waste handling, hazardous materials handling or storage, delivery areas or loading docks, or other outdoor work areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<i>Issues</i>	<i>Potentially Significant Impact</i>	<i>Less Than Significant With Mitigation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site or volume of storm water runoff to cause environmental harm or potential for significant increase in erosion of the project site or surrounding areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site or potential for significant changes in the flow velocity or volume of storm water runoff to cause environmental harm?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff during construction and/or post-construction activity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality or potential for discharge of storm water to affect the beneficial uses of receiving water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Expose people or structures to inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10) LAND USE AND PLANNING. Would the project:				
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, airport land use compatibility plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11) MINERAL RESOURCES. Would the project:				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12) NOISE. Would the project result in:				

<i>Issues</i>	<i>Potentially Significant Impact</i>	<i>Less Than Significant With Mitigation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) For a project located within the noise impact zones of the airport land use compatibility plan for ONT and Chino Airports, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13) POPULATION AND HOUSING. Would the project:				
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of road or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14) PUBLIC SERVICES. Would the project:				
a) Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
i) Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
v) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15) RECREATION. Would the project:				
a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<i>Issues</i>	<i>Potentially Significant Impact</i>	<i>Less Than Significant With Mitigation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16) TRANSPORTATION/TRAFFIC. Would the project:				
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Result in inadequate parking capacity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17) UTILITIES AND SERVICE SYSTEMS. Would the project:				
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? In making this determination, the City shall consider whether the project is subject to the water supply assessment requirements of Water Code Section 10910, et seq. (SB 610), and the requirements of Government Code Section 664737 (SB 221).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<i>Issues</i>	<i>Potentially Significant Impact</i>	<i>Less Than Significant With Mitigation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18) MANDATORY FINDINGS OF SIGNIFICANCE				
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current project, and the effects of probable future projects.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Note: Authority cited: Sections 21083, 21083.05, Public Resources Code. Reference: Section 65088.4, Gov. Code; Sections 21080, 21083.05, 21095, Pub. Resources Code; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

EXPLANATION OF ISSUES

1) **AESTHETICS.** Would the project:

a) **Have a substantial adverse effect on a scenic vista?**

Discussion of Effects: The Policy Plan (General Plan) does not identify scenic vistas within the City. However, the Policy Plan (Policy CD1-5) requires all major north-south streets be designed and redeveloped to feature views of the San Gabriel Mountain. The project site is not located on a major north-south as identified in the Functional Roadway Classification Plan (Figure M-2) of the Mobility Element within the Policy Plan. Therefore, no adverse impacts are anticipated in relation to the project.

Mitigation: None required.

b) **Substantially damage scenic resources, including, but not limited to, tress, rock outcroppings and historic buildings within a state scenic highway?**

Discussion of Effects: The City of Ontario is served by three freeways: I-10, I-15, and SR-60. I-10 and SR-60 traverse the northern and central portion of the City, respectively, in an east-west direction. I-15 traverses the northeastern portion of the City in a north-south direction. These segments of I-10, I-15, and SR-60 have not been officially designated as scenic highways by the California Department of Transportation. In addition, there are no historic buildings or any scenic resources identified on the project site. Therefore, it will not result in adverse environmental

impacts.

Mitigation: None required.

c) **Substantially degrade the existing visual character or quality of the site and its surroundings?**

Discussion of Effects: The project site is located in an area that is characterized by industrial development to the north, east and south and residential to the west. The proposed metal salvage and scrap yard recycling facility on-site activities and equipment have the potential to degrade the visual character of the site and surrounding area (**Exhibit A: Site Plan**). To protect the existing visual character of the project site and surrounding area the following improvements to the property are being proposed: 1) A 12 foot-high decorative masonry screen wall will surround the entire project site and screen proposed on-site activities, equipment and scrap metal piles (**Exhibit B: Screen Wall**); 2) landscaping will be installed along Sultana Avenue (17-foot wide landscape planter), Mission Boulevard (10-foot wide landscape planter) and Monterey Avenue (20-foot wide landscape planter); and 3) Right-of-way improvements will be installed consistent with the policies of the Community Design Element of the Policy Plan (General Plan) and zoning designation on the property, as well as with the recently developed industrial projects located east of the project site. However, to protect properties to the south from visual impacts and contain metal scrap debris on-site, mitigation is being proposed below to address all potential visual impacts from the proposed facility.

Mitigation: The following mitigation measures shall be required:

- i. A 12-foot high decorative screen wall shall be constructed along the southern property line, instead of the proposed wrought-iron fence.
- ii. All on-site equipment and scrap piles shall not be visible from the public right-of-way and not exceed the height of screen walls.
- iii. Dense evergreen plant materials shall be planted and maintained in all planter locations and be able to reach a mature height of 15 to 20 feet.

d) **Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?**

Discussion of Effects: The proposed metal salvage and scrap yard recycling facility will have operating hours Monday thru Friday 8:00 a.m. to 5:00 p.m. and Saturday 8:00 a.m. to 12:00 p.m. and is not proposing exterior on-site lighting to illuminate any outdoor activities. However, any proposed lighting will be pursuant to the requirements of the City's Development Code that require on-site lighting to be shielded, diffused or indirect, to avoid glare to pedestrians or motorists. Any proposed light fixtures will be selected and located to confine the area of illumination to within the project site and minimize light spillage. In addition, any proposed site lighting plans will be subject to review by the Planning Department and Police Department prior to issuance of building permits (pursuant to the City's Building Security Ordinance). Therefore, no adverse impacts are anticipated.

Mitigation: None required.

2) **AGRICULTURE AND FOREST RESOURCES.** In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

a) **Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?**

Discussion of Effects: The site is presently developed and does not contain any agricultural uses. Further, the site is identified as "Developed Land" on the map prepared by the California Resources Agency, pursuant to the Farmland Mapping and Monitoring Program. As a result, no adverse environmental impacts are anticipated.

Mitigation: None required.

b) **Conflict with existing zoning for agricultural use, or a Williamson Act contract?**

Discussion of Effects: The project site is not zoned for agricultural use. The project site is zoned M3 (General Industrial) and there is no Williamson Act contract in effect on the subject site. Therefore, no impacts to agricultural uses are anticipated, nor will there be any conflict with existing or Williamson Act contracts.

Mitigation: None required.

c) **Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?**

Discussion of Effects: There is currently no land in the City of Ontario that qualifies as forest land, Timberland or Timberland Production as defined in Public Resources Code section 12220(g), Public Resources Code section 4526 or Government Code section 51104(g) respectfully. Neither The Ontario Plan nor the City's Zoning Code provide designations for forest land, timberland or timberland production. Furthermore, the project is zoned M3 (General Industrial) and is developed for industrial uses. Therefore, no adverse impacts are anticipated.

Mitigation: None required.

d) **Result in the loss of forest land or conversion of forest land to non-forest use?**

Discussion of Effects: There is currently no land in the City of Ontario that qualifies as forest land as defined in Public Resources Code section 12220(g). Neither The Ontario Plan nor the City's Zoning Code provide designations for forest land. Consequently, the proposed project would not result in the loss or conversion of forest land.

Mitigation: None required.

e) **Involve other changes in the existing environment, which, due to their location or nature, could individually or cumulatively result in loss of Farmland to non-agricultural use or conversion of forest land to non-forest use?**

Discussion of Effects: The project site is currently zoned M3 (General Industrial) and is not designated as Farmland. The project site is currently developed and there are no agricultural uses occurring onsite. As a result, to the extent that the project would result in changes to the existing environment those changes would not result in loss of Farmland to non-agricultural use.

Additionally, there is currently no land in the City of Ontario that qualifies as forest land as defined in Public Resources Code Section 12220(g). Neither The Ontario Plan nor the City's Zoning Code provide designations for forest land. Consequently, to the extent that the proposed project would result in changes to the existing environment, those changes would not impact forest land.

Mitigation Required: None required.

3) **AIR QUALITY.** Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

a) **Conflict with or obstruct implementation of the applicable air quality plan?**

Discussion of Effects: The project will not conflict with or obstruct implementation of any air quality plan. As noted in The Ontario Plan FEIR (Section 5.3), pollutant levels in the Ontario area already exceed Federal and State standards. To reduce pollutant levels, the City of Ontario is actively participating in efforts to enhance air quality by implementing Control Measures in the Air Quality

Management Plan for local jurisdictions within the South Coast Air Basin.

The proposed project is consistent with The Ontario Plan, for which the EIR was prepared and impacts evaluated. Furthermore, the project is consistent with the City's participation in the Air Quality Management Plan and, because of the project's limited size and scope, will not conflict with or obstruct implementation of the plan. However, out of an abundance of caution, the project will use low emission fuel, use low VOC architectural coatings and implement an alternative transportation program (which may include incentives to participate in carpool or vanpool) as recommended by the South Coast Air Quality Management District's Air Quality modeling program.

Mitigation: None required.

b) **Violate any air quality standard or contribute substantially to an existing or projected air quality violation?**

Discussion of Effects: Short term air quality impacts will result from construction related activities associated with construction activity, such as excavation and grading, machinery and equipment emissions, vehicle emissions from construction employees, etc. The daily emissions of nitrogen oxides and particulates from resulting grading and vehicular emissions may exceed threshold levels of the South Coast Air Quality Management District (SCAQMD).

Mitigation: The following fugitive dust mitigation measures shall be required:

- i) Use of dust control during clearing, grading and construction. Fugitive dust generated during cleaning, grading, earth moving or excavation shall be controlled by regular watering, paving of construction roads, or other dust-preventative measures. If freshwater resources are too precious to waste on dust control, availability of brackish or reclaimed water sources shall be investigated. Soil disturbance shall be terminated when high winds (25 mph or greater) make dust control extremely difficult.
 - ii) Minimization of construction interference with regional non-project traffic movement. Impacts shall be reduced to below a level of significance by the following mitigation measures:
 - (1) Scheduling receipt of construction materials to non-peak travel periods.
 - (2) Routing construction traffic through areas of least impact sensitivity.
 - (3) Limiting lane closures and detours to off-peak travel periods.
 - (4) Providing rideshare incentives for contractor and subcontractor personnel.
 - iii) After clearing, grading or earth moving:
 - (1) Seed and water until plant cover is established;
 - (2) Spread soil binders;
 - (3) Form and maintain a crust on the surface through repeated soaking that will prevent dust pickup by wind; and
 - (4) Reduce "spill-over" effects by washing vehicles entering public roadways from dirt off road project areas, and washing/sweeping project access to public roadways on an adequate schedule.
 - iv) Emissions control from on-site equipment through a routine, mandatory program of low-emission tune-ups.
- c) **Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions that exceed quantitative thresholds for ozone precursors)?**

Discussion of Effects: The project will not result in a cumulatively considerable net increase of any criteria pollutant for which the region is in non-attainment under an applicable federal or state ambient air quality because of the limited size and scope of the project. Although no impacts are anticipated, the project will still comply with the air quality standards of the TOP FEIR and the

SCAQMD resulting in impacts that are less than significant [please refer to Sections 3(a) and 3(b)].

Mitigation: None required.

d) **Expose sensitive receptors to substantial pollutant concentrations?**

Discussion of Effects: Sensitive receptors are defined as populations that are more susceptible to the effects of pollution than the population at large. The SCAQMD identifies the following as sensitive receptors: long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. According to the SCAQMD, projects have the potential to create significant impacts if they are located within one-quarter mile of sensitive receptors and would emit toxic air contaminants identified in SCAQMD Rule 1401.

The project site is located in an area that is surrounded by industrial development to the north, east and south and residential to the west. Also, within one-quarter mile of the project site there are additional sensitive receptors, specifically residential homes to the north, east, south and west and a park located to the north (**Exhibit D- Uses within 1/4 Mile**).

The metal salvage and scrap recycling industry involves a variety of metals and the wide range of processing techniques that can pose a range of safety and health hazards. Facilities and processes that may occur at some facilities include the collection and transport of raw scrap, pretreatment, melting, refining, forming and finishing. The recycling processes fall into the basic categories of: 1) Loading and unloading; 2) Breaking and separating; 3) Gas torch cutting; 4) Non-gas torch cutting and other cutting; 5) Baling, compacting, and shredding; 6) Melting and baking in furnaces and ovens; and 7) Applying chemical processes to recycle metals. Each category is an individual component of the recycling process and may pose a wide range of safety hazards that are common to many industrial and material handling processes. Such hazards may include flying pieces of material, exposed moving parts, fire hazards, and noise hazards.

The project is proposing to recycle ferrous and non-ferrous metals that are not chemically contaminated (**Exhibit C—Accepted Materials for Recycling**) and the proposed processing techniques include loading and unloading, breaking and separating, baling/compacting and shredding. The proposed processes and equipment (**Exhibit E – Processing Equipment**) are described further below:

- **Loading/Unloading** – Small and large trucks deliver scrap metal to the recycling facility and materials are collected from vehicles by cranes. After materials have been compacted/sorted they are loaded onto shipping containers and removed from the site. The shipping containers are loaded using an acculoader and the crane is used to place scrap metal into the acculoader. The acculoader fits within the shipping containers and horizontally pushes and compresses the scrap metal into the containers. An acculoader is 11 feet high and Star is proposing to have two on-site.
- **Breaking and Separating** – Reduction of metal scrap is a necessary component of the facility. The facility is proposing to use alligator sheers for cutting metals and a large stationary shear to compress and cut scrap metal into smaller sizes. The alligator shear is approximately 4 feet high and will be kept within one of the buildings. Star is requesting to utilize a large stationary sheer that is approximately 24 feet high to be located outside on the southeast corner of the property.
- **Baling/Compacting/Shredding** – Star is proposing to use a baler to compact aluminum and scrap metal that is 12 feet high located within the center of the property. Some of the material processed at the facility is insulated wire to process the wire a cable separation machine will be utilized that shreds wires and plastic into small pieces and separates the plastic and metal. A ringmill and a briquetter are also being utilized to chop scrap metal into fine small pieces and press them into briquettes.

All of the above mentioned processes and proposed equipment shown in Exhibit E may have the potential to impact sensitive receptors and may not be permitted on site. To protect sensitive receptors from the proposed project, mitigation measures are being required to prevent the emittance of toxic air contaminants into the atmosphere as identified in SCAQMD Rule 1401.

Mitigation: The following mitigation measures shall be required:

- i. Metal salvage and scrap recycling operations shall be conducted at least 300 FT away from any dwelling.
- ii. Melting, baking and gas/non-gas torch cutting of metals shall not be allowed on site.
- iii. The facility shall only receive their scrap supply from reliable sources that follow the established guidelines set by industry standards (U.S. Institute of Scrap Recycling Industries, Inc., and U.S. National Association of Secondary Materials Industries, Inc.) and shall obtain material data safety sheets and labels for the scrap materials accepted.
- iv. Scrap metals brought to the site for processing will be free of impurities and hazardous/radioactive chemicals.
- v. All baling, shearing and shredding equipment shall have advanced dust control features that encapsulate all dust and scrap from discharging into the atmosphere.
- vi. All equipment shall require Planning Department approval and may require Fire and Building Department approvals.

e) **Create objectionable odors affecting a substantial number of people?**

Discussion of Effects: To prevent objectionable odors from affecting the surrounding area and a substantial amount of people, mitigation measures shall be required.

Mitigation: The following mitigation measures are being required:

- i. The proposed metal salvage and scrap yard recycling facility shall not accept contaminated metals or organic materials for recycling that cause objectionable odors.

4) **BIOLOGICAL RESOURCES.** Would the project:

a) **Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?**

Discussion of Effects: The project site is located within an area that has not been identified as containing species identified as a candidate, sensitive, or special status species in local or regional plans, policies or regulations or by the California Department of Fish and Game or the U.S. Fish and Wildlife Service. Therefore, no adverse impacts are anticipated.

Mitigation: None required.

b) **Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?**

Discussion of Effects: The site does not contain any riparian habitat or other sensitive natural community identified by the Department of Fish & Game or Fish & Wildlife Service. Therefore, no adverse environmental impacts are anticipated.

Mitigation: None required.

c) **Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?**

Discussion of Effects: No wetland habitat is present on site. Therefore, project implementation would have no impact on these resources.

Mitigation: None required.

d) **Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?**

Discussion of Effects: The site is currently developed and is surrounded on all four sides by

development. As a result, there are no wildlife corridors connecting this site to other areas. Therefore, no adverse environmental impacts are anticipated.

Mitigation: None required.

- e) **Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?**

Discussion of Effects: The City of Ontario does not have any ordinances protecting biological resources. Further, the site does not contain any mature trees necessitating the need for preservation. As a result, no adverse environmental impacts are anticipated.

Mitigation: None required.

- f) **Conflict with the provisions of an adopted Habitat Conservation Plan (HCP), Natural Community Conservation Plan (NCCP), or other approved local, regional, or state habitat conservation plan?**

Discussion of Effects: The site is not part of an adopted HCP, NCCP or other approved habitat conservation plan. As a result, no adverse environmental impacts are anticipated.

Mitigation: None required.

5) **CULTURAL RESOURCES.** Would the project:

- a) **Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5?**

Discussion of Effects:

The project proposes partial demolition and/or alterations to an existing building that was not constructed more than 50 years of ago and cannot be considered for eligibility for listing in the California Register of Historic Resources. Therefore, no adverse impacts are anticipated.

Mitigation: None required.

- b) **Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?**

Discussion of Effects: The Ontario Plan FEIR (Section 5.5) indicates no archeological sites or resources have been recorded in the City with the Archeological Information Center at San Bernardino County Museum. However, only about 10 percent of the City of Ontario has been adequately surveyed for prehistoric or historic archaeology. While no adverse impacts to archeological resources are anticipated at this site due to its urbanized nature, standard conditions have been imposed on the project that in the event of unanticipated archeological discoveries, construction activities will not continue or will moved to other parts of the project site and a qualified archaeologist shall be contacted to determine significance of these resources. If the find is discovered to be historical or unique archaeological resources, as defined in Section 15064.5 of the CEQA Guidelines, avoidance or other appropriate measures shall be implemented.

Mitigation: None required.

- c) **Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?**

Discussion of Effects: The City of Ontario is underlain by deposits of Quaternary and Upper-Pleistocene sediments deposited during the Pliocene and early Pleistocene time, Quaternary Older Alluvial sediments may contain significant, nonrenewable, paleontological resources and are, therefore, considered to have high sensitivity at depths of 10 feet or more below ground surface. In addition, the Ontario Plan FEIR (Section 5.5) indicates that one paleontological resource has been discovered in the City. However, the project proposes excavation depths to be less than 10 feet. While no adverse impacts are anticipated, standard conditions have been imposed on the project that in the event of unanticipated paleontological resources are identified during excavation, construction activities will not continue or will moved to other parts of the project site and a qualified paleontologist shall be contacted to determine significance of these resources. If the find is

determined to be significant, avoidance or other appropriate measures shall be implemented.

Mitigation: None required.

d) **Disturb any human remains, including those interred outside of formal cemeteries?**

Discussion of Effects: The proposed project is in an area that has been previously disturbed by development. No known religious or sacred sites exist within the project area. Thus, human remains are not expected to be encountered during any construction activities. However, in the unlikely event that human remains are discovered, existing regulations, including the California Public Resources Code Section 5097.98, would afford protection for human remains discovered during development activities. Furthermore, standard conditions have been imposed on the project that in the event of unanticipated discoveries of human remains are identified during excavation, construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and/or Native American consultation has been completed, if deemed applicable.

Mitigation: None required.

6) **GEOLOGY & SOILS**. Would the project:

a) **Expose people or structures to potential substantial adverse effects, including the risk of loss, injury or death involving:**

i) **Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.**

Discussion of Effects: There are no active faults known on the site and the project site is located outside the Fault Rapture Hazard Zone (formerly Alquist-Priolo Zone). The Ontario Plan FEIR (Section 5.7/Figure 5.7-2) identifies eight active or potentially active fault zones near the City. Given that the closest fault zone is located more than ten miles from the project site, fault rupture within the project area is not likely. All development will comply with the Uniform Building Code seismic design standards to reduce geologic hazard susceptibility. Therefore, no adverse impacts are anticipated.

Mitigation: None required.

ii) **Strong seismic ground shaking?**

Discussion of Effects: There are no active faults known on the site and the project site is located outside the Fault Rapture Hazard Zone (formerly Alquist-Priolo Zone). The Ontario Plan (General Plan) FEIR (Section 5.7/Figure 5.7-2) identifies eight active or potentially active fault zones near the City. The closest fault zone is located more than ten miles from the project site. The proximity of the site to the active faults will result in ground shaking during moderate to severe seismic events. All construction will be in compliance with the California Building Code, the Ontario Municipal Code, The Ontario Plan and all other ordinances adopted by the City related to construction and safety. Therefore, no adverse impacts are anticipated.

Mitigation: None required.

iii) **Seismic-related ground failure, including liquefaction?**

Discussion of Effects: As identified in the TOP FEIR (Section 5.7), groundwater saturation of sediments is required for earthquake induced liquefaction. In general, groundwater depths shallower than 10 feet to the surface can cause the highest liquefaction susceptibility. Depth to ground water at the project site during the winter months is estimated to be between 250 to 450 feet below ground surface. Therefore, the liquefaction potential within the project area is minimal. Implementation of The Ontario Plan strategies, Uniform Building Code and Ontario Municipal code would reduce impacts to a less than significant level.

Mitigation: None required.

iv) **Landslides?**

Discussion of Effects: The project would not expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving landslides because the relatively flat topography of the project site (less than 2 percent slope across the City) makes the chance of landslides remote. Implementation of The Ontario Plan strategies, Uniform Building Code and Ontario Municipal Code would reduce impacts to a less than significant level.

Mitigation: None required.

b) **Result in substantial soil erosion or the loss of topsoil?**

Discussion of Effects: The project will not result in significant soil erosion or loss of topsoil because of the previously disturbed and developed nature of the project site and the limited size and scope of the project. Grading increases the potential for erosion by removing protective vegetation, changing natural drainage patterns, and constructing slopes. However, compliance with the California Building Code and review of grading plans by the City Engineer will ensure no significant impacts will occur. In addition, the City requires an erosion/dust control plan for projects located within this area. Implementation of a NPDES program, the Environmental Resource Element of the Policy Plan (General Plan) strategies, Uniform Building Code and Ontario Municipal code would reduce impacts to a less than significant level.

Mitigation: The following mitigation measures shall be implemented:

- i) Prior to issuance of grading permits, the applicant shall submit an erosion control plan to reduce wind erosion impacts.
- ii) Fugitive dust generated during cleaning, grading, earth moving or excavation should be controlled by regular watering, paving of construction roads, or other dust-preventative measures.
- iii) After clearing, grading, or earth moving:
 - (1) Seed and water until plant cover is established;
 - (2) Spread soil binders;
 - (3) Form and maintain a crust on the surface through repeated soaking that will prevent dust pickup by wind; and
 - (4) Sweep streets if silt is carried to adjacent public thoroughfares.
- iv) Obtain authorization to discharge storm water under an NPDES construction storm water permit and pay appropriate fees.

c) **Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?**

Discussion of Effects: The project would not result in the location of development on a geologic unit or soil that is unstable, or that would become unstable because as previously discussed, the potential for liquefaction and landslides associated with the project is less than significant. The Ontario Plan FEIR (Section 5.7) indicates that subsidence is generally associated with large decreases or withdrawals of water from the aquifer. The project would not withdraw water from the existing aquifer. Further, implementation of The Ontario Plan strategies, Uniform Building Code and Ontario Municipal code would reduce impacts to a less than significant level.

Mitigation: None required.

d) **Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?**

Discussion of Effects: The majority of Ontario, including the project site, is located on alluvial soil deposits. These types of soils are not considered to be expansive. Therefore, no adverse impacts are anticipated.

Mitigation: None required.

- e) **Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?**

Discussion of Effects: The area is served by the local sewer system and the use of alternative systems is not necessary. There will be no impact to the sewage system.

Mitigation: None required.

7) **GREENHOUSE GAS EMISSIONS.** Would the project:

- a) **Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?**

Discussion of Effects: The impact of buildout of The Ontario Plan on the environment due to the emission of greenhouse gases (“GHGs”) was analyzed in the Environmental Impact Report (“EIR”) for the Policy Plan (General Plan). According to the EIR, this impact would be significant and unavoidable. (Re-circulated Portions of the Ontario Plan Draft Environmental Impact Report, p. 2-118.) This EIR was certified by the City on January 27, 2010, at which time a statement of overriding considerations was also adopted for The Ontario Plan’s significant and unavoidable impacts, including that concerning the emission of greenhouse gases.

Pursuant to Public Resources Code section 21083.3, this impact need not be analyzed further, because (1) the proposed project would result in an impact that was previously analyzed in The Ontario Plan EIR, which was certified by the City; (2) the proposed project would not result in any greenhouse gas impacts that were not addressed in The Ontario Plan EIR; (3) the proposed project is consistent with The Ontario Plan.

As part of the City’s certification of The Ontario Plan EIR and its adoption of The Ontario Plan, the City adopted mitigation measures 6-1 through 6-6 with regard to the significant and unavoidable impact relating to GHG emissions. These mitigation measures, in summary, required:

MM 6-1. The City is required to prepare a Climate Action Plan (CAP).

MM 6-2. The City is required to consider for inclusion in the CAP a list of emission reduction measures.

MM 6-3. The City is required to amend its Municipal Code to incorporate a list of emission reduction concepts.

MM 6-4. The City is required to consider the emission reduction measures and concepts contained in MMs 6-2 and 6-3 when reviewing new development prior to adoption of the CAP.

MM 6-5. The City is required to evaluate new development for consistency with the Sustainable Communities Strategy, upon adoption by the Southern California Association of Governments.

MM 6-6. The City is required to participate in San Bernardino County’s Green Valley Initiative.

While Public Resources Code section 21083.3 requires that relevant mitigation measures from a General Plan EIR be imposed on a project that is invoking that section’s limited exemption from CEQA, these mitigation measures impose obligations on the City, not applicants, and hence are not directly relevant. However, the mitigation proposed below carries out, on a project-level, the intent of The Ontario Plan’s mitigation on this subject.

Mitigation Required: The following mitigation measures shall be required:

- i) The City has reviewed the emission reduction measures and concepts in The Ontario Plan EIR’s MM 6-2 and 6-3, and has determined that the following actions apply and shall be undertaken by the applicant in connection with the project:

- ii) Evaluate existing landscaping and options to convert reflective and impervious surfaces to landscaping, and install or replace vegetation with drought-tolerant , low-maintenance native species or edible landscaping that can also provide shade and reduce heat-island effects;
- iii) Require all new landscaping irrigation systems installed to be automated, high-efficient irrigation systems to reduce water use and require use of bubbler irrigation; low-angle, low-flow spray heads; or moisture sensors;
- iv) Reduce heat gain from pavement and other similar hardscaping;

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Discussion of Effects: The proposed project is consistent with The Ontario Plan Goal ER 4 of improving air quality by, among other things, implementation of Policy ER4-3, regarding the reduction of greenhouse gas emissions in accordance with regional, state and federal regulations. In addition, the proposed project is consistent with the policies outlined in Section 5.6.4 of the Environmental Impact Report for The Ontario Plan, which aims to reduce the City's contribution of greenhouse gas emissions at build-out by fifteen (15%), because the project is upholding the applicable City's adopted mitigation measures as represented in 6-1 through 6-6. Therefore, the proposed project does not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing emissions of greenhouse gases.

Mitigation Required: None required.

8) HAZARDS & HAZARDOUS MATERIALS. Would the project:

a) Create a significant hazard to the public or the environment through the routine transport, use or disposal of hazardous materials?

Discussion of Effects: The project is not anticipated to involve the transport, use or disposal of hazardous materials during either construction or project implementation. Therefore, no adverse impacts are anticipated. However, in the unlikely event of an accident, implementation of the strategies included in The Ontario Plan will decrease the potential for health and safety risks from hazardous materials to a less than significant impact.

Mitigation: None required.

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

Discussion of Effects: The proposed project does not include the use of hazardous materials or volatile fuels. In addition, there are no known stationary commercial or industrial land uses within close proximity to the subject site, which use/store hazardous materials to the extent that they would pose a significant hazard to visitors/occupants to the subject site, in the event of an upset condition resulting in the release of a hazardous material.

Mitigation: None required

c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances or waste within one-quarter mile of an existing or proposed school?

Discussion of Effects: The proposed project does not include the use, emissions or handling of hazardous or acutely hazardous materials, substances or waste. Therefore, no impacts are anticipated.

Mitigation: None required.

d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

Discussion of Effects: The proposed project site is not listed on the hazardous materials site compiled pursuant to Government Code Section 65962.5. Therefore, the project would not create

a hazard to the public or the environment and no impact is anticipated.

Mitigation: None required.

- e) **For a project located within the safety zone of the airport land use compatibility plan for ONT or Chino Airports, would the project result in a safety hazard for people residing or working in the project area?**

Discussion of Effects: The proposed site is located within the Ontario International Airport Influence Area, specifically Safety Zone 4 as shown in Policy Map 2-2: Safety Zones of the Ontario International Airport Land Use Compatibility Plan (ONT ALUCP). To protect people on the ground and in the air from potential safety hazards mitigation measures are being required.

Mitigation: The following mitigation measures shall be required:

- i. Above ground storage of hazardous materials greater than 6,000 gallons is not allowed.
- ii. Site-wide average of 160 people per acre shall not be exceeded.
- iii. Single-acre intensity requirement of 400 people shall not be exceeded.
- iv. Structures or equipment shall not exceed 80 feet in height.

- f) **For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?**

Discussion of Effects: The project site is not located within the vicinity of a private airstrip. Therefore, no impacts are anticipated.

Mitigation: None required.

- g) **Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?**

Discussion of Effects: The City's Safety Element, as contained within The Ontario Plan, includes policies and procedures to be administered in the event of a disaster. The Ontario Plan seeks interdepartmental and inter-jurisdictional coordination and collaboration to be prepared for, respond to and recover from everyday and disaster emergencies. In addition, the project will comply with the requirements of the Ontario Fire Department and all City requirements for fire and other emergency access. Because the project is required to comply with all applicable City codes, any impacts would be reduced to a less than significant level.

Mitigation: None required.

- h) **Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?**

Discussion of Effects: The project site is not located in or near wildlands. Therefore, no impacts are anticipated.

Mitigation: None required.

- 9) **HYDROLOGY & WATER QUALITY**. Would the project:

- a) **Violate any other water quality standards or waste discharge requirements or potential for discharge of storm water pollutants from areas of material storage, vehicle or equipment fueling, vehicle or equipment maintenance (including washing), waste handling, hazardous materials handling or storage, delivery areas or loading docks, or other outdoor work areas?**

Discussion of Effects: The project site is served by City water and sewer service and will not affect water quality standards or waste discharge requirements. Discharge of storm water pollutants from areas of materials storage, vehicle or equipment fueling, vehicle or equipment maintenance (including washing, waste handling, hazardous materials handling or storage, delivery areas or loading docks, or other outdoor work) areas could result in a temporary increase in the amount of suspended solids, trash and debris, oil and grease, organic compounds, pesticides, nutrients, heavy metals and bacteria pathogens in surface flows during a concurrent storm event, thus resulting in surface water quality impacts. The site is required to comply with the statewide National

Pollutant Discharge Elimination System (NPDES) General Industrial Activities Stormwater Permit, the San Bernardino County Area-Wide Urban Runoff Permit (MS4 permit) and the City of Ontario's Municipal Code (Title 6, Chapter 6 (Stormwater Drainage System)). This would reduce any impacts to below a level of significance.

Mitigation: None required.

- b) **Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?**

Discussion of Effects: No increases in the current amount of water flow to the project site are anticipated, and the proposed project will not deplete groundwater supplies, nor will it interfere with recharge. The water use associated with the proposed use of the property will be negligible. The development of the site will require the grading of the site and excavation is expected to be less than ten feet and would not affect the existing aquifer, estimated to be about 230 to 250 feet below the ground surface. No adverse impacts are anticipated.

Mitigation: None required.

- c) **Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site or volume of storm water runoff to cause environmental harm or potential for significant increases in erosion of the project site or surrounding areas?**

Discussion of Effects: It is not anticipated that the project would alter the drainage pattern of the site or area, in a manner that would result in erosion, siltation or flooding on-or-off site nor will the proposed project increase the erosion of the subject site or surrounding areas. The existing drainage pattern of the project site will not be altered and it will have no significant impact on downstream hydrology. Stormwater generated by the project will be discharged in compliance with the statewide NPDES General Construction Activities Stormwater Permit and San Bernardino County MS4 permit requirements. With the full implementation of a Storm Water Pollution Prevention Plan developed in compliance with the General Construction Activities Permit requirements, the Best Management Practices included in the SWPPP, and a stormwater monitoring program would reduce any impacts to below a level of significance. No streams or streambeds are present on the site. No changes in erosion off-site are anticipated.

Mitigation: None required.

- d) **Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site or potential for significant changes in the flow velocity or volume of storm water runoff to cause environmental harm?**

Discussion of Effects: The proposed project is not anticipated to increase the flow velocity or volume of storm water runoff to cause environmental harm from the site and will not create a burden on existing infrastructure. Furthermore, with the implementation of an approved Water Quality Management Plan developed for the site, in compliance with the San Bernardino County MS4 Permit requirements, stormwater runoff volume shall be reduced to below a level of significance.

Mitigation: None required.

- e) **Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff (a&b) during construction and/or post-construction activity?**

Discussion of Effects: It is not anticipated that the project would create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or create or

contribute stormwater runoff pollutants during construction and/or post-construction activity. Pursuant to the requirements of The Ontario Plan, the City's Development Code, and the San Bernardino County MS4 Permit's "Water Quality Management Plan" (WQMP), individual developments must provide site drainage and WQMP plans according to guidelines established by the City's Engineering Department. If master drainage facilities are not in place at the time of project development, then standard engineering practices for controlling post-development runoff may be required, which could include the construction of on-site storm water detention and/or retention/infiltration facilities. Therefore, no impacts are anticipated.

Mitigation: None required.

- f) **Otherwise substantially degrade water quality or potential for discharge of storm water to affect the beneficial uses of receiving water?**

Discussion of Effects: Activities associated with the construction period, could result in a temporary increase in the amount of suspended solids in surface flows during a concurrent storm event, thus resulting in surface water quality impacts. The site is required to comply with the statewide NPDES General Construction Permit and the City of Ontario's Municipal Code (Title 6, Chapter 6 (Stormwater Drainage System)) to minimize water pollution. Thus it is anticipated that there is no potential for discharges of stormwater during construction that will affect the beneficial uses of the receiving waters. However, with the General Construction Permit requirement and implementation of the policies in The Ontario Plan, any impacts associated with the project would be less than significant.

Mitigation: None required.

- g) **Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?**

Discussion of Effects: The project site is not located within a 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map. Therefore, no impacts are anticipated.

Mitigation: None required.

- h) **Place within a 100-year flood hazard area, structures that would impede or redirect flood flows?**

Discussion of Effects: As identified in the Safety Element (Exhibit S-2) of the Policy Plan (General Plan), the site lies outside of the 100-year flood hazard area. Therefore, no adverse impacts are anticipated.

Mitigation: None required.

- i) **Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?**

Discussion of Effects: As identified in the Safety Element (Exhibit S-2) of The Ontario Plan, the site lies outside of the 100-year flood hazard area. No levees or dams are located near the project site. Therefore, no adverse impacts are anticipated.

Mitigation: None required.

- j) **Expose people or structures to inundation by seiche, tsunami or mudflow?**

Discussion of Effects: There are no lakes or substantial reservoirs near the project site; therefore, impacts from seiche are not anticipated. The City of Ontario has relatively flat topography, less than two percent across the City, and the chance of mudflow is remote. Therefore, no impacts are anticipated.

Mitigation: None required.

- 10) **LAND USE & PLANNING.** Would the project:

- a) **Physically divide an established community?**

Discussion of Effects: The project site is located in an area that is currently developed with urban land uses. The areas west of the project site are zoned residential and the subject site along properties north, east and south are zoned for industrial uses. The project site will be consistent and similar to other industrial developments that require the screening of outdoor activities. The project will become a part of the larger industrial community and act as a buffer between industrial and residential uses to the west. No adverse impacts are anticipated.

Mitigation: None required.

- b) **Conflict with applicable land use plan, policy or regulation of agencies with jurisdiction over the project (including, but not limited to general plan, airport land use compatibility plan, specific plan, or development code) adopted for the purpose of avoiding or mitigation an environmental effect?**

Discussion of Effects: Any potential conflicts the proposed project may have with The Ontario Plan, ONT ALUCP, Development Code and environmental effects have been addressed and no further mitigation is required.

Mitigation: None required.

- c) **Conflict with any applicable habitat conservation plan or natural community conservation plan?**

Discussion of Effects: There are no adopted habitat conservation plans in the project area. As such no conflicts or impacts are anticipated.

Mitigation: None required.

11) **MINERAL RESOURCES.** Would the project:

- a) **Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?**

Discussion of Effects: The project site is located within a mostly developed area surrounded by urban land uses. There are no known mineral resources in the area. Therefore, no impacts are anticipated.

Mitigation: None required.

- b) **Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?**

Discussion of Effects: There are no known mineral resources in the area. No impacts are anticipated.

Mitigation: None required.

12) **NOISE.** Would the project result in:

- a) **Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?**

Discussion of Effects: The proposed metal salvage and scrap recycling facility includes outdoor operations that may generate high noise levels. The Ontario Plan Exhibit LU-07 identifies noise exposure levels for all land uses and requires industrial land uses to maintain a Community Noise Equivalent Level (CNEL) of 70-75 dB and residential land uses to maintain a CNEL of 60-65 dB. As, stated previously to the west of the project site there are existing residential homes that may be exposed to higher noise levels. To protect persons from exposure to high noise levels in excess of what is established in The Ontario Plan mitigation measures are required.

Mitigation: The following mitigation measures are required:

- i. All equipment shall be kept at a minimum of 300 feet from the closest residential structure.
- ii. The proposed use shall maintain daytime operating hours. Monday thru Friday 8:00 a.m. to 5:00 p.m. and Saturday 8:00 a.m. to 12:00 p.m.

iii. All equipment shall be conducted within a completely enclosed structure designed to minimize the noise generated by the operations.

b) **Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?**

Discussion of Effects: The proposed metal salvage and scrap recycling facility include outdoor operations that may generate groundborne vibration and noise levels. As, stated previously to the west there are existing residential homes that may be exposed to groundborne vibration and noise levels. To address exposure of persons to excessive groundbourne vibration or noise levels refer to 12 (a) for mitigation measures.

Mitigation: No further mitigation required refer to 12(a) mitigation measures.

c) **A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?**

Discussion of Effects: The proposed metal salvage and scrap recycling facility include outdoor activities that may increase ambient noise levels in the project vicinity and have been mitigated.

Mitigation: No further mitigation required refer to 12(a) mitigation measures.

d) **A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?**

Discussion of Effects: Temporary construction activities will minimally impact ambient noise levels. All construction machinery will be maintained according to industry standards to help minimize the impacts. The proposed metal salvage and scrap recycling facility include outdoor activities that may increase ambient noise levels in the project vicinity and have been mitigated.

Mitigation: No further mitigation required refer to 12(a) mitigation measures.

e) **For a project located within the noise impact zones of the airport land use compatibility plan for ONT and Chino Airports, would the project expose people residing or working in the project area to excessive noise levels?**

Discussion of Effects: The project site is located within the Ontario International Airport Influence Area, specifically 65 – 70 dB Noise Impact Zone of the Ontario International Airport Land Use Compatibility Plan (ONT ALUCP). However, the proposed metal salvage and scrap recycling center is considered an acceptable use within the noise impact zone and on-site activities are expected to generate higher noise levels than aircraft noise. Therefore, no impacts are anticipated.

Mitigation: None required.

f) **For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?**

Discussion of Effects: The project site is not located within the vicinity of a private airstrip. Therefore, no impacts are anticipated.

Mitigation: None required.

13) **POPULATION & HOUSING.** Would the project:

a) **Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of road or other infrastructure)?**

Discussion of Effects: The project is located in a developed area and will not induce population growth. Therefore, no impacts are anticipated

Mitigation: None required.

b) **Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?**

Discussion of Effects: The project site is currently developed. Therefore, no impacts are anticipated.

Mitigation: None required.

- c) **Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?**

Discussion of Effects: The project site is currently developed. Therefore, no impacts are anticipated.

Mitigation: None required.

14) **PUBLIC SERVICES.** Would the project:

- a) **Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:**

- i) **Fire protection?**

Discussion of Effects: The site is in a developed area currently served by the Ontario Fire Department. The project will not require the construction of any new facilities or alteration of any existing facilities or cause a decline in the levels of service, which could cause the need to construct new facilities. No impacts are anticipated.

Mitigation: None required.

- ii) **Police protection?**

Discussion of Effects: The site is in a developed area, currently served by the Ontario Police Department. The project will not require the construction of any new facilities or alteration of any existing facilities or cause a decline in the levels of service, which could cause the need to construct new facilities. No impacts are anticipated.

Mitigation: None required.

- iii) **Schools?**

Discussion of Effects: The project will be required to pay school fees as prescribed by state law prior to the issuance of building permits. No impacts are anticipated.

Mitigation: None required.

- iv) **Parks?**

Discussion of Effects: The site is in a developed area, currently served by the City of Ontario. The project will not require the construction of any new facilities or alteration of any existing facilities or cause a decline in the levels of service, which could cause the need to construct new facilities. No impacts are anticipated.

Mitigation: None required.

- v) **Other public facilities?**

Discussion of Effects: The site is in a developed area, currently served by the City of Ontario. The project will not require the construction of any new facilities or alteration of any existing facilities or cause a decline in the levels of service, which could cause the need to construct new facilities. No impacts are anticipated.

Mitigation: None required.

15) **RECREATION.** Would the project:

- a) **Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?**

Discussion of Effects: This project is not proposing any significant new housing or large employment generator that would cause an increase in the use of neighborhood parks or other recreational facilities. No impacts are anticipated.

Mitigation: None required.

- b) **Does the project include recreational facilities or require the construction or expansion of recreational facilities that have an adverse physical effect on the environment?**

Discussion of Effects: This project is not proposing any new significant housing or large employment generator that would require the construction of neighborhood parks or other recreational facilities. No impacts are anticipated.

Mitigation: None required.

16) **TRANSPORTATION/TRAFFIC.** Would the project:

- a) **Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited?**

Discussion of Effects: The project is in an area that is mostly developed with all street improvements existing. The number of vehicle trips per day is not expected to be increased significantly. Therefore, the project will not create a substantial increase in the number of vehicle trips, traffic volume or congestion at intersections. Less than significant impacts are anticipated.

Mitigation: None required.

- b) **Conflict with an applicable congestion management program, including, but not limited to, level of service standard and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?**

Discussion of Effects: The project is in an area that is mostly developed with all street improvements existing. The project will not conflict with an applicable congestion management program or negatively impact the level of service standards on adjacent arterials, as the amount of trips to be generated are minimal in comparison to existing capacity in the congestion management program. Less than significant impacts are anticipated.

Mitigation: None required.

- c) **Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?**

Discussion of Effects: The project will not create a substantial safety risk or interfere with air traffic patterns at Ontario International Airport as it is under FAA-imposed height restrictions. No impacts are anticipated.

Mitigation: None required.

- d) **Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?**

Discussion of Effects: The project is in an area that is mostly developed. All street improvements are complete and no alterations are proposed for adjacent intersections or arterials. The project will, therefore, not create a substantial increase in hazards due to a design feature. No impacts are anticipated.

Mitigation: None required.

- e) **Result in inadequate emergency access?**

Discussion of Effects: The project will be designed to provide access for all emergency vehicles and will therefore not create an inadequate emergency access. No impacts are anticipated.

Mitigation: None required.

f) **Result in inadequate parking capacity?**

Discussion of Effects: The project is required to meet parking standards established by the Ontario Development Code and will therefore not create an inadequate parking capacity. No impacts are anticipated.

Mitigation: None required.

g) **Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?**

Discussion of Effects: The project does not conflict with any transportation policies, plans or programs. Therefore, no impacts are anticipated.

Mitigation: None required.

17) **UTILITIES AND SERVICE SYSTEMS.** Would the project:

a) **Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?**

Discussion of Effects: The proposed project is served by the City of Ontario sewer system, which has waste treated by the Inland Empire Utilities Agency at the RP-1 (or RP-5) treatment plant. The project is required to meet the requirements of the Ontario Engineering Department regarding wastewater. No impacts are anticipated.

Mitigation: None required.

b) **Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?**

Discussion of Effects: The proposed project is served by the City of Ontario sewer system and which has waste treated by the Inland Empire Utilities Agency at the RP-1 (or RP-5) treatment plant. RP-1 (or RP-5) is not at capacity and this project will not cause RP-1 (or RP-5) to exceed capacity. The project will therefore not require the construction of new wastewater treatment facilities, or the expansion of existing facilities. No impacts are anticipated.

Mitigation: None required.

c) **Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?**

Discussion of Effects: The proposed project is served by the City of Ontario. The project is required to meet the requirements of the Ontario Engineering Department regarding storm drain facilities. No impacts are anticipated.

Mitigation: None required.

d) **Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? In making this determination, the City shall consider whether the project is subject to the water supply assessment requirements of Water Code Section 10910, et seq. (SB 610), and the requirements of Government Code Section 664737 (SB 221).**

Discussion of Effects: The project is served by the City of Ontario water system. There is currently a sufficient water supply available to the City of Ontario to serve this project. No impacts are anticipated.

Mitigation: None required.

- e) **Result in a determination by the wastewater treatment provider that serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?**

Discussion of Effects: The proposed project is served by the City of Ontario sewer system, which has waste treated by the Inland Empire Utilities Agency at the RP-1 (or RP-5) treatment plant. RP-1 (or RP-5) is not at capacity and this project will not cause RP-1 (or RP-5) to exceed capacity. No impacts are anticipated.

Mitigation: None required.

- f) **Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?**

Discussion of Effects: City of Ontario serves the proposed project. Currently, the City of Ontario contracts with a waste disposal company that transports trash to a landfill with sufficient capacity to handle the City's solid waste disposal needs. No impacts are anticipated.

Mitigation: None required.

- g) **Comply with federal, state, and local statutes and regulations related to solid waste?**

Discussion of Effects: This project complies with federal, state, and local statutes and regulations regarding solid waste. Therefore, no impacts are anticipated.

Mitigation: None required.

18) **MANDATORY FINDINGS OF SIGNIFICANCE**

Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat or a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

Discussion of Effects: The proposed project does not have the potential to reduce wildlife habitat and threaten a wildlife species. The project site and surrounding area is currently developed and there are no wildlife habitat, corridors or endangered species on or within the vicinity of the project site. Therefore, no impacts are anticipated.

Mitigation: None required.

- a) **Does the project have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals?**

Discussion of Effects: The project does not have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals.

Mitigation: None required.

- b) **Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current project, and the effects of probable future projects.)**

Discussion of Effects: The project site is located in an area that is characterized by industrial development to the north, east and south and residential to the west. The proposed metal salvage and scrap yard recycling facility on-site activities and equipment have the potential to have individual and cumulative impacts of aesthetics, air quality and noise that were mitigated to a level of less than significant in those sections.

Mitigation: No further mitigation is required, refer to aesthetics, air quality and noise sections for mitigation measures.

- c) **Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?**

Discussion of Effects: The project does have environmental effects that may cause adverse effects on human beings as they relate air quality and noise that were mitigated to a level of less than significance in those sections.

Mitigation: No further mitigation is required, refer to air quality and noise sections for mitigation measures.

EARLIER ANALYZES

(Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, one or more effects have been adequately analyzed in an earlier EIR or Negative Declaration. Section 15063(c)(3)(D)):

- 1) Earlier analyzes used. Identify earlier analyzes used and state where they are available for review.
 - a) The Ontario Plan Final EIR
 - b) The Ontario Plan
 - c) City of Ontario Zoning
 - d) Ontario International Airport Land Use Compatibility Plan
 - e) Ontario International Airport Land Use Compatibility Plan Negative Declaration (SCH 2011011081)

All documents listed above are on file with the City of Ontario Planning Department, 303 East "B" Street, Ontario, California 91764, (909) 395-2036.

- 2) Impacts adequately addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards.

Comments III.A and C were addressed in The Ontario Plan FEIR and considered a significant adverse effect that could not be mitigated. A statement of overriding considerations was adopted for The Ontario Plan FEIR.

MITIGATION MEASURES

(For effects that are "Less than Significant with Mitigation Incorporated," describe the mitigation measures, which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project):

- 1) **Aesthetics** – The following mitigation measures shall be required to prevent the substantial visual degradation of the project site and its surroundings.
 - a) A 12-foot high decorative screen wall shall be constructed along the southern property line, instead of the proposed wrought-iron fence.
 - b) All on-site equipment and scrap piles shall not be visible from the public right-of-way and not exceed the height of screen walls.
 - c) Dense evergreen plant materials shall be planted and maintained in all planter locations and be able to reach a mature height of 15 to 20 feet.
- 2) **Air Quality**—The following fugitive dust mitigation measures shall be required:
 - a) Use of dust control during clearing, grading and construction. Fugitive dust generated during cleaning, grading, earth moving or excavation shall be controlled by regular watering, paving of construction roads, or other dust-preventative measures. If freshwater resources are too precious to waste on dust control, availability of brackish or reclaimed water sources shall be investigated. Soil disturbance shall be terminated when high winds (25 mph or greater) make dust control

extremely difficult.

- b) Minimization of construction interference with regional non-project traffic movement. Impacts shall be reduced to below a level of significance by the following mitigation measures:
 - i) Scheduling receipt of construction materials to non-peak travel periods.
 - ii) Routing construction traffic through areas of least impact sensitivity.
 - iii) Limiting lane closures and detours to off-peak travel periods.
 - iv) Providing rideshare incentives for contractor and subcontractor personnel.
 - c) After clearing, grading or earth moving:
 - i) Seed and water until plant cover is established;
 - ii) Spread soil binders;
 - iii) Form and maintain a crust on the surface through repeated soaking that will prevent dust pickup by wind; and
 - iv) Reduce “spill-over” effects by washing vehicles entering public roadways from dirt off road project areas, and washing/sweeping project access to public roadways on an adequate schedule.
 - d) Emissions control from on-site equipment through a routine, mandatory program of low-emission tune-ups.
 - e) The following mitigation measures shall be required to protect sensitive receptors to substantial pollutant concentrations.
 - i) Metal salvage and scrap recycling operations shall be conducted at least 300 FT away from any dwelling.
 - ii) Melting, baking and gas/non-gas torch cutting of metals shall not be allowed on site.
 - iii) The facility shall only receive their scrap supply from reliable sources that follow the established guidelines set by industry standards (U.S. Institute of Scrap Recycling Industries, Inc., and U.S. National Association of Secondary Materials Industries, Inc.) and shall obtain material data safety sheets and labels for the scrap materials accepted.
 - iv) Scrap metals brought to the site for processing will be free of impurities and hazardous/radioactive chemicals.
 - v) All baling, shearing and shredding equipment shall have advanced dust control features that encapsulate all dust and scrap from discharging into the atmosphere.
 - vi) All equipment shall require Planning Department approval and may require Fire and Building Department approvals.
 - f) The following mitigation measures are being required to prevent objectionable odors from affecting the surrounding area and a substantial amount of people, mitigation measures shall be required.
 - i) The proposed metal salvage and scrap yard recycling facility shall not accept contaminated metals or organic materials for recycling that cause objectionable odors.
- 3) **Geology and Soils**—The following mitigation measures shall be implemented:
- a) Prior to issuance of grading permits, the applicant shall submit an erosion control plan to reduce wind erosion impacts.
 - b) Fugitive dust generated during cleaning, grading, earth moving or excavation shall be controlled by regular watering, paving of construction roads, or other dust-preventative measures.
 - c) After clearing, grading, or earth moving:
 - i) Seed and water until plant cover is established;

- ii) Spread soil binders;
 - iii) Form and maintain a crust on the surface through repeated soaking that will prevent dust pickup by wind; and
 - iv) Sweep streets if silt is carried to adjacent public thoroughfares.
 - v) Obtain authorization to discharge storm water under an NPDES construction storm water permit and pay appropriate fees.
- 4) **Greenhouse Gas Emissions**—The following mitigation measures shall be implemented:
- a) The City has reviewed the emission reduction measures and concepts in The Ontario Plan EIR's MM 6-2 and 6-3, and has determined that the following actions apply and shall be undertaken by the applicant in connection with the project:
 - i) Evaluate existing landscaping and options to convert reflective and impervious surfaces to landscaping, and install or replace vegetation with drought-tolerant , low-maintenance native species or edible landscaping that can also provide shade and reduce heat-island effects;
 - ii) Require all new landscaping irrigation systems installed to be automated, high-efficient irrigation systems to reduce water use and require use of bubbler irrigation; low-angle, low-flow spray heads; or moisture sensors;
 - iii) Reduce heat gain from pavement and other similar hardscaping;
- 5) **Hazard & Hazardous Materials** – The following mitigation measures shall be implemented.
- a) Above ground storage of hazardous materials greater than 6,000 gallons is not allowed.
 - b) Site-wide average of 160 people per acre shall not be exceeded.
 - c) Single-acre intensity requirement of 400 people shall not be exceeded.
 - d) Structures or equipment shall not exceed 80 feet in height.
- 6) **Noise** – The following mitigation measures shall be implemented.
- a) All equipment shall be kept at a minimum of 300 feet from the closest residential structure.
 - b) The proposed use shall maintain daytime operating hours. Monday thru Friday 8:00 a.m. to 5:00 p.m. and Saturday 8:00 a.m. to 12:00 p.m.
 - c) All equipment shall be conducted within a completely enclosed structure designed to minimize the noise generated by the operations.

EXHIBIT B—Screen Wall



STAR SCRAP METAL
901 S. SULTANA AVE.
ONTARIO, CALIFORNIA

VIEW FROM MISSION BLVD, LOOKING SOUTH-EAST ONTO SITE

JOB # 1695
AUGUST 26, 2015



EXHIBIT C—Accepted Materials for Recycling

All Metals including:



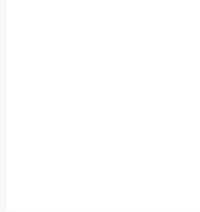
Aluminum



Brass



Cans



Copper



Electronics



High Temp
Alloys



Insulated Wire



Motors



Radiators



Stainless Steel



Steel

EXHIBIT D- Uses within 1/4 Mile

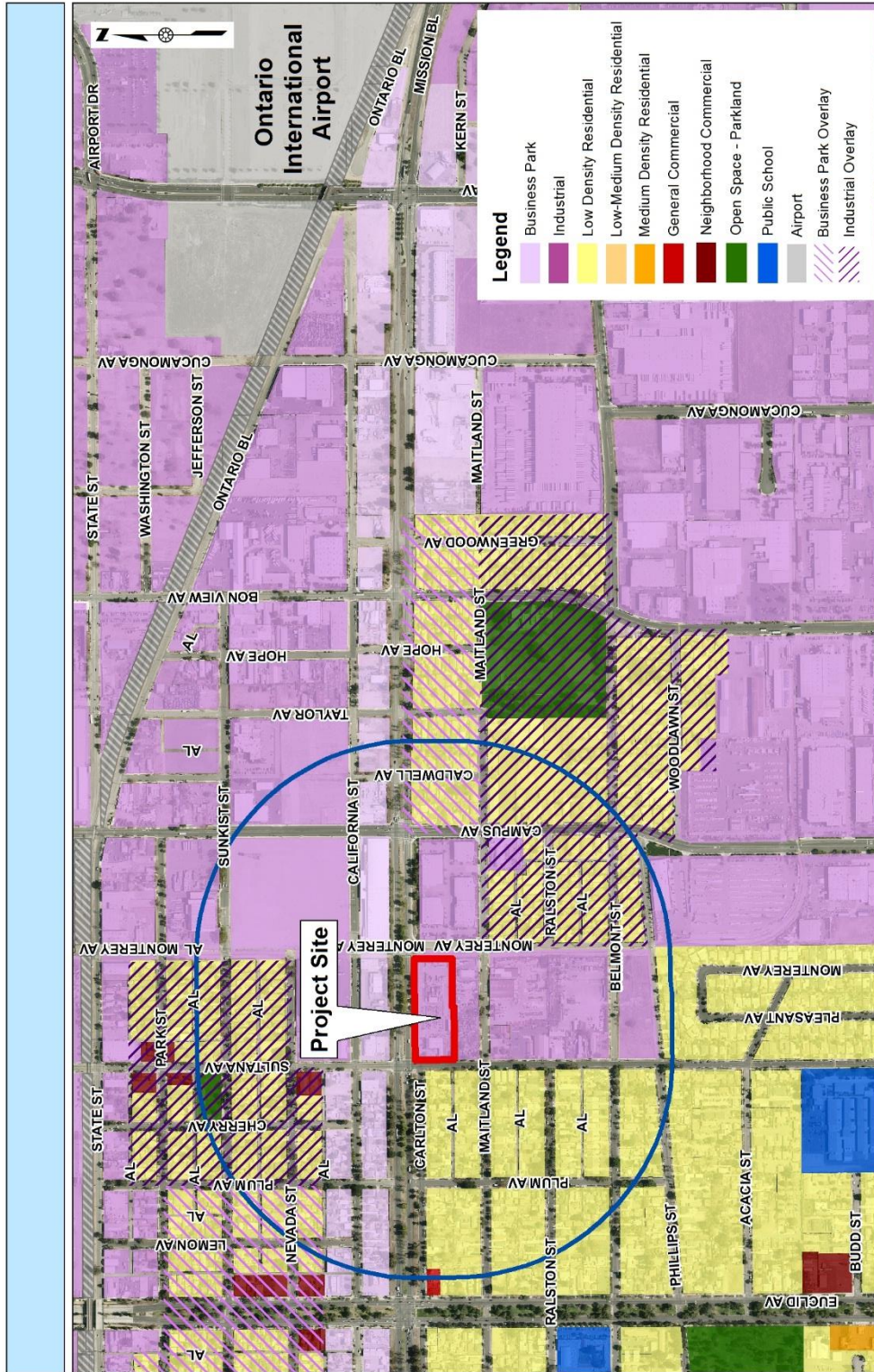


Exhibit E – Processing Equipment Proposed

Acculoader—11 Feet tall



Load 20 to 40-foot containers in as little as 10 minutes with the Acculoader™, instead of using a skip steer which could take more than an hour. Designed for any size yard, this unique product for HMS 1 and 2 steel loads products with maximum weight capacity and comes with an integrated scale system that allows for accurate container weight.



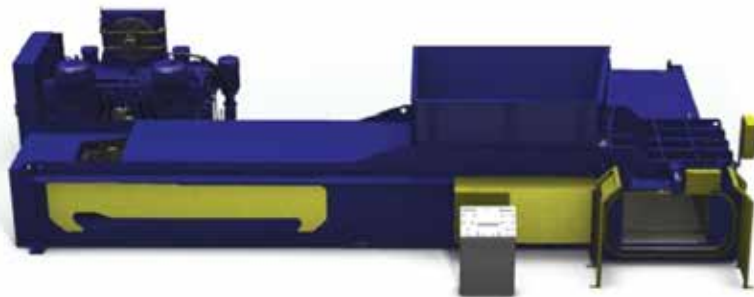
Outside Alligator Sheer, Enterprise Co.— 4 to 5 Feet



APPLICATIONS

- Metal cleaning
- Rebar cutting
- Cable cutting
- Round stock cutting for threading
- Mounted & Unmounted tire cutting
- Bar & Scrap cutting

Harris Baler - new 200 HP—12 feet Tall



Materials Designed to Process

- Cardboard(OCC)
- Newspaper(ONP)
- High Grade Paper
- Mixed Paper
- Solid Waste(MSW)
- C & D
- UBC's
- Aluminum Cans
- Steel Cans
- Plastics
- Nonferrous Metals
- White Goods
- Tin

Briquetter RSG 4000— 4 to 6 feet



Crane with Grapppler

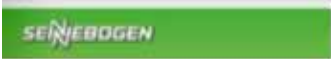
Sennebogen 840m Material Handler— 15 to 25 feet

Weitergedacht. Die neue E-Serie.
A step further. The new E-series.

Unsere Erfahrung aus über 60 Jahren in der Herstellung und im Bau von Hybridfahrzeugen (Schwungradmaschinen) ist in die Entwicklung unserer neuen E-Serie eingeflossen. Das Ergebnis: kompakte, leistungsstarke Materialhandler in allen Bereichen. Maximale Effizienz dank 316L-Edelstahl-erweiterte Kapazitäten, gedächtnisarme Steuerung und 360-Grad-Turnbereich der Maschine. Hochwertige Komponenten und die Verwendung von Diesel-Engineering garantieren eine lange Produktlebensdauer und hohe Wertstabilität. Wir denken an nachhaltige Investitionen.

Our experience gained over 60 years in the design and construction of hybrid material handling machines has been applied in the development of the new E-series. The result: uncompromising performance in all areas. Scale of steel components, memory-free control and 360-degree rotation ensure an economical and ergonomic operation of new machines. High-quality components and expertise of our engineering guarantee a long product life and high value stability. We think of sustainable investments.

- 1 **Green Efficiency**
 Gut für die Umwelt, gut für Ihre Kosten
 Green Efficiency
 Environmental protection, saving money
- 2 **Leistung auf höchstem Niveau**
 Übertrifft Ihre Erwartungen
 Performance on the highest level
 Exceeds your expectations
- 3 **Höchster Bedienkomfort**
 Potentiale entspannt und Gewichte nutzen
 Excellent operating comfort
 Use potentials relaxed and comfortably
- 4 **Maximale Sicherheit**
 Schutz für Mensch und Maschine
 Maximum safety
 Protection for man and machine
- 5 **Wartung und Service leicht gemacht**
 Wenig Zeit für das Wesentliche
 Maintenance and service made easy
 Minimum time for the important things



Ringmill by American Pulvizer—4 to 6 feet



American Pulvizer's exclusive rolling ring design is the most efficient crushing element ever developed to reduce material to uniform size. Each ring freely rotates on the shaft and is held in its outward position by centrifugal force. This process reduces by impact rather than sharpness and is free to deflect from tramp metal. Rings are reversible for double wear.

The heat treated steel main shaft revolves in heavy-duty anti-friction bearings, which are enclosed in dust- and air-tight pillow blocks. Rings are installed in a staggered formation covering the entire width of the crushing chamber. Shredder rings are used when a minimum of fines is desired, smooth rings where a maximum of fines is required.

Harris Stationary Shear BSH1003—24 feet



Materials Designed to Process

- Auto Scrap
- Steel Mill Scrap
- Pipe and Plate
- No.1 Heavy Melt Scrap
- No.2 Heavy Melt Scrap
- Selected sections of freight cars and ship scrap

Sweed Cable Separation System 12 to 15 Feet



1. THE SWEED PRECHOPPER

Sweed's Prechopper is a single-shaft shredder that provides rapid reduction of ferrous and non-ferrous scrap material.

The closed rotor design allows bulk feeding without overloading the machine. Once the material is loaded into the hopper, it's fed into the rotor using a hydraulic ram. The chopped material can drop into a hopper located under the unit, or it can be conveyed into a separate container or granulator for further processing.

Sweed's Prechopper is built for durability and reliability and offers heavy-duty construction in a compact size. Interchangeable screens are available for material size control. The hydraulic powered carriage allows the prechopper screens to be changed quickly and easily.

Sweed offers prechoppers in multiple sizes, depending on volume. Each are designed to stand alone or can be placed in-line with a Sweed Separation System.

2. MAGNETIC CROSS BELT

Sweed's powerful magnetic cross belts are positioned over the conveyor to lift steel out of the mixed materials that have been processed in the Prechopper. This system is used to ensure clean division of the ferrous and non-ferrous metals. Hanging the cross-belt over the outtake conveyor increases the system's efficiency and reduces cost!

3. Self Dumping Hopper

The Sweed self-dumping hopper is the fastest, safest, easiest and most economical way to load, transport and dump scrap and bulk material.

Sweed's hopper is designed for forklift handling and offers a unique gravity-activated door latch that eliminates the need for hand trip levers or pushing a bin over. This system offers safe, hands-free operation; allowing workers to stay out of harms way.

The top loading container is activated by tilting the mast of the forklift forward for complete discharge of contents. As the container tilts, the self-locking mechanism will release the door. As the container is lowered to the ground it will reset and the door will lock. Within a matter of seconds the the hopper is ready to go back to work!

4. GRANULATORS

Granulators are used for reducing large materials down to a chip size. Quality craftsmanship and innovative design are two key elements that set Sweed granulators aside from others on the market. High performance, low maintenance and long term durability are all proven benefits of Sweed granulators; saving you money and time, while helping to achieve your scrap reduction goals. Sweed Granulators come in multiple sizes, and each are built like tanks. When the granulator is hand-fed, the safety infeed hood prevents the operator direct access to the rotor, while still allowing to efficiently feed material. This keeps the operator safe from moving parts, and prevents material from kicking back when the hood is open. The hydraulic powered carriage allows the granulator screens to be changed quickly and easily.

5. DUAL AIR TABLES

Sweed includes a secondary air table on the small footprint separation system. The second table helps create a more efficient system, and improves the separation of copper and aluminum; providing a more pure end result, and preventing losing product in the trash.

Sweed uses an open air table design. This provides quick access to material on the table, allowing the operator to easily make adjustments as needed.

6. CYCLONE

The cyclone is used to collect dust generated by the wire chopping process, containing air pollutants and dropping into a container for disposal. The cyclone can be designed to be configured inside or outside of a facility.

MITIGATION MONITORING AND REPORTING PROGRAM

Project File No.: PCUP14-028

Project Sponsor: Star Scrap Metal, 14372 East Firestone Boulevard, La Mirada, CA

Lead Agency/Contact Person: Lorena Mejia, Associate Planner, City of Ontario, Planning Department, 303 East B Street, Ontario, California 91764, (909) 395-2036

<i>Mitigation Measures/Implementing Action</i>	<i>Responsible for Monitoring</i>	<i>Monitoring Frequency</i>	<i>Timing of Verification</i>	<i>Method of Verification</i>	<i>Verified (Initial/Date)</i>	<i>Sanctions for Non-Compliance</i>
1) AIR QUALITY						
<p>a) Use of dust control during clearing, grading and construction. Fugitive dust generated during cleaning, grading, earth moving or excavation shall be controlled by regular watering, paving of construction roads, or other dust-preventative measures. If freshwater resources are too precious to waste on dust control, availability of brackish or reclaimed water sources shall be investigated. Soil disturbance shall be terminated when high winds (25 mph or greater) make dust control extremely difficult.</p>	Building Dept & Planning Dept	Throughout construction	As necessary	On-site inspection		Stop work order; or withhold grading permit; or withhold building permit
<p>b) Minimization of construction interference with regional non-project traffic movement. Impacts shall be reduced to below a level of significance by the following mitigation measures:</p> <ul style="list-style-type: none"> i) Scheduling receipt of construction materials to non-peak travel periods. ii) Routing construction traffic through areas of least impact sensitivity. iii) Limiting lane closures and detours to off-peak travel periods. iv) Providing rideshare incentives for contractor and subcontractor personnel. 	Building Dept & Planning Dept	Throughout construction	As necessary	On-site inspection		Stop work order; or withhold grading permit; or withhold building permit
<p>c) After clearing, grading or earth moving:</p> <ul style="list-style-type: none"> i) Seed and water until plant cover is established. ii) Spread soil binders. iii) Form and maintain a crust on the surface through repeated soaking that will prevent dust pickup by wind. iv) Reduce “spill-over” effects by washing vehicles entering public roadways from dirt off road project areas, and washing/sweeping project access to public roadways on an adequate schedule. 	Building Dept & Planning Dept	Throughout construction	As necessary	On-site inspection		Stop work order; or withhold grading permit; or withhold building permit

<i>Mitigation Measures/Implementing Action</i>	<i>Responsible for Monitoring</i>	<i>Monitoring Frequency</i>	<i>Timing of Verification</i>	<i>Method of Verification</i>	<i>Verified (Initial/Date)</i>	<i>Sanctions for Non-Compliance</i>
<p>d) Exposure of sensitive receptors to substantial pollutant concentrations shall be reduced to below a level of significance by the following mitigation measures:</p> <p>(i) Metal salvage and scrap recycling operations shall be conducted at least 300 FT away from any dwelling.</p> <p>(ii) Melting, baking and gas/non-gas torch cutting of metals shall not be allowed on site.</p> <p>(iii) The facility shall only receive their scrap supply from reliable sources that follow the established guidelines set by industry standards (U.S. Institute of Scrap Recycling Industries, Inc., and U.S. National Association of Secondary Materials Industries, Inc.) and shall obtain material data safety sheets and labels for the scrap materials accepted.</p> <p>(iv) Scrap metals brought to the site for processing will be free of impurities and hazardous/radioactive chemicals.</p> <p>(v) All baling, shearing and shredding equipment shall have advanced dust control features that encapsulate all dust and scrap from discharging into the atmosphere.</p>	Planning Dept	Prior to opening and every 6-months	As necessary	On-site inspection		Revocation of Conditional Use Permit
<p>a) Creation of objectionable odors affecting a substantial number of people shall be reduced to below a level of significance by the following mitigation measures:</p> <p>i) The proposed metal salvage and scrap yard recycling facility shall not accept contaminated metals or organic materials for recycling that cause objectionable odors.</p>	Planning Dept	Every 6-months	As necessary	On-site inspection		Revocation of Conditional Use Permit
<p>b) Emissions control from on-site equipment through a routine, mandatory program of low-emission tune-ups.</p>	Building Dept & Planning Dept	Throughout construction	As necessary	On-site inspection		Stop work order; or withhold grading permit; or withhold building permit
2) GEOLOGY & SOILS						
<p>a) The applicant shall submit an erosion control plan to reduce wind erosion impacts.</p>	Building Dept, Planning Dept & Engineering Dept	Grading Plan issuance	Prior to issuance of grading permits	Plan check		Withhold grading permit
<p>b) Fugitive dust generated during cleaning, grading, earth moving or excavation shall be controlled by regular watering, paving of construction roads, or other dust-preventative measures.</p>	Building Dept	Throughout construction	As necessary	On-site inspection		Stop work order; or withhold grading permit; or withhold building permit

<i>Mitigation Measures/Implementing Action</i>	<i>Responsible for Monitoring</i>	<i>Monitoring Frequency</i>	<i>Timing of Verification</i>	<i>Method of Verification</i>	<i>Verified (Initial/Date)</i>	<i>Sanctions for Non-Compliance</i>
<p>c) After clearing, grading, or earth moving:</p> <p>i) Seed and water until plant cover is established.</p> <p>ii) Spread soil binders.</p> <p>iii) Form and maintain a crust on the surface through repeated soaking that will prevent dust pickup by wind.</p> <p>iv) Sweep streets if silt is carried to adjacent public thoroughfares</p>	Building Dept & Planning Dept	Throughout construction	As necessary	On-site inspection		Stop work order; or withhold grading permit; or withhold building permit
d) Obtain authorization to discharge storm water under an NPDES construction storm water permit and pay appropriate fees.	Engineering Dept	Grading Plan issuance	Prior to issuance of grading permits	Plan check		Withhold grading permit
3) GREENHOUSE GAS EMISSIONS						
<p>a) The City has reviewed the emission reduction measures and concepts in The Ontario Plan EIR's MM 6-2 and 6-3, and has determined that the following actions apply and shall be undertaken by the applicant in connection with the project:</p> <p>i) Evaluate existing landscaping and options to convert reflective and impervious surfaces to landscaping, and install or replace vegetation with drought-tolerant, low-maintenance native species or edible landscaping that can also provide shade and reduce heat-island effects.</p> <p>ii) Require all new landscaping irrigation systems installed to be automated, high-efficient irrigation systems to reduce water use and require use of bubbler irrigation; low-angle, low-flow spray heads; or moisture sensors.</p> <p>iii) Reduce heat gain from pavement and other similar hardscaping.</p>	Building Dept & Planning Dept	Throughout construction	As necessary	Plan check/On-site inspection		Stop work order; or withhold building permit
4) AESTHETICS						
<p>a) Substantial degradation of the existing visual character and quality of the site and its surroundings shall be reduced to below a level of significance by the following mitigation measures:</p> <p>i) A 12-foot high decorative screen wall shall be constructed along the southern property line, instead of the proposed wrought-iron fence.</p> <p>ii) All on-site equipment and scrap piles shall not be</p>	<p>Building Dept, Planning Dept & Engineering Dept</p> <p>Planning Dept</p>	<p>Grading Plan issuance</p> <p>4 times a year</p>	<p>Prior to issuance of grading permits &</p> <p>As necessary</p>	<p>Plan check</p> <p>off-site inspection</p>		<p>Withhold grading permit</p> <p>Revocation of</p>

<i>Mitigation Measures/Implementing Action</i>	<i>Responsible for Monitoring</i>	<i>Monitoring Frequency</i>	<i>Timing of Verification</i>	<i>Method of Verification</i>	<i>Verified (Initial/Date)</i>	<i>Sanctions for Non-Compliance</i>
<p>visible from the public right-of-way and not exceed the height of screen walls.</p> <p>iii) Dense evergreen plant materials shall be planted and maintained in all planter locations and be able to reach a mature height of 15 to 20 feet.</p>	Planning Dept	Plan Check issuance & inspection	Every 6 months	On-site inspection		Conditional Use Permit
5) HAZARDS AND HAZARDOUS MATERIAL						
<p>a) The project site is located within the safety zone of the airport land use compatibility plan for ONT, people on the ground and in the air exposure to safety hazards were reduced to below of a level of significance by the following mitigation measures:</p> <p>i) Above ground storage of hazardous materials greater than 6,000 gallons is not allowed.</p> <p>ii) Site-wide average of 160 people per acre shall not be exceeded.</p> <p>iii) Single-acre intensity requirement of 400 people shall not be exceeded.</p> <p>iv) Structures or equipment shall not exceed 80 feet in height.</p>	Planning Dept	Plan Check issuance & inspection	Every 6 months	On-site inspection		Revocation of Conditional Use Permit
6) NOISE						
<p>a) The project's exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies shall be reduced to below a level of significance by the following mitigation measures:</p> <p>i) All equipment shall be kept at a minimum of 300 feet from the closest residential structure.</p> <p>ii) The proposed use shall maintain daytime operating hours. Monday thru Friday 8:00 a.m. to 5:00 p.m. and Saturday 8:00 a.m. to 12:00 p.m.</p> <p>iii) All equipment shall be conducted within a completely enclosed structure designed to minimize the noise generated by the operations.</p>	Planning Dept	Site Plan & inspection	Every 6 months	On-site inspection		Revocation of Conditional Use Permit

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ONTARIO ADOPTING A MITIGATED NEGATIVE DECLARATION, FOR WHICH AN INITIAL STUDY WAS PREPARED, ALL IN ACCORDANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, AS AMENDED, AND ADOPTING A RELATED MITIGATION MONITORING AND REPORTING PROGRAM FOR FILE NO. PCUP14-028

WHEREAS, prior to the adoption of this Resolution, the Planning Director of the City of Ontario prepared an Initial Study and approved for circulation a Mitigated Negative Declaration for Planning File No. PCUP14-028 (the "Initial Study/Mitigated Negative Declaration"), all in accordance with the requirements of the California Environmental Quality Act of 1970, together with state and local guidelines implementing said Act, all as amended to date (collectively "CEQA"); and

WHEREAS, Planning File No. PCUP14-028 analyzed under the Initial Study/Mitigated Negative Declaration consists of a Conditional Use Permit for METAL SALVAGE AND SCRAP YARD RECYCLING FACILITY, located at 901 SOUTH SULTANA AVENUE, Ontario, CA 91764 (the "Project"); and

WHEREAS, the Initial Study/Mitigated Negative Declaration concluded that implementation of the Project could result in a number of significant effects on the environment and identified mitigation measures that would reduce each of those significant effects to a less-than-significant level; and

WHEREAS, in connection with the approval of a project involving the preparation of an initial study/mitigated negative declaration that identifies one or more significant environmental effects, CEQA requires the decision-making body of the lead agency to incorporate feasible mitigation measures that would reduce those significant environment effects to a less-than-significant level; and

WHEREAS, whenever a lead agency approves a project requiring the implementation of measures to mitigate or avoid significant effects on the environment, CEQA also requires a lead agency to adopt a mitigation monitoring and reporting program to ensure compliance with the mitigation measures during project implementation, and such a mitigation monitoring and reporting program has been prepared for the Project for consideration by the decision-maker of the City of Ontario as lead agency for the Project (the "Mitigation Monitoring and Reporting Program"); and

WHEREAS, the City of Ontario is the lead agency on the Project, and the Planning Commission is the decision-making body for the proposed approval to construct and otherwise undertake the Project; and

WHEREAS, the Planning Commission has reviewed and considered the Initial Study/Mitigated Negative Declaration and related Mitigation Monitoring and Reporting

Program for the Project and intends to take actions on the Project in compliance with CEQA and state and local guidelines implementing CEQA; and

WHEREAS, the Initial Study/Mitigated Negative Declaration and related Mitigation Monitoring and Reporting Program for the Project are on file in the Planning Department, located at 303 East B Street, Ontario, CA 91764, are available for inspection by any interested person at that location and are, by this reference, incorporated into this Resolution as if fully set forth herein;

NOW THEREFORE BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF ONTARIO AS FOLLOWS:

THAT THE PLANNING COMMISSION does hereby make the following findings: (1) it has independently reviewed and analyzed the Initial Study/Mitigated Negative Declaration and other information in the record and has considered the information contained therein, prior to acting upon or approving the Project, (2) the Initial Study/Mitigated Negative Declaration prepared for the Project has been completed in compliance with CEQA and is consistent with state and local guidelines implementing CEQA, and (3) the Initial Study/Mitigated Negative Declaration represents the independent judgment and analysis of the City of Ontario, as lead agency for the Project. The City Council designates the Planning Department, located at 303 East B Street, Ontario, CA 91764, as the custodian of documents and records of proceedings on which this decision is based.

THAT THE PLANNING COMMISSION does hereby find that based upon the entire record of proceedings before it and all information received that there is no substantial evidence that the Project will have a significant effect on the environment and does hereby adopt the Mitigated Negative Declaration and related Mitigation Monitoring and Reporting Program prepared for the Project (Planning File No. PCUP14-028). The Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program are: (1) on file in the Planning Department, located at 303 East B Street, Ontario, CA 91764 and (2) available for inspection by any interested person.

The Secretary Pro Tempore for the Planning Commission of the City of Ontario shall certify as to the adoption of this Resolution.

I hereby certify that the foregoing Resolution was duly and regularly introduced, passed and adopted by the Planning Commission of the City of Ontario at a regular meeting thereof held on the 22nd day of September 2015, and the foregoing is a full, true and correct copy of said Resolution, and has not been amended or repealed.

Jim Willoughby
Planning Commission Chairman

ATTEST:

Scott Murphy
Planning Director/Secretary of Planning
Commission

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, Marci Callejo, Secretary Pro Tempore of the Planning Commission of the City of Ontario, DO HEREBY CERTIFY that foregoing Resolution No. PC**_*** was duly passed and adopted by the Planning Commission of the City of Ontario at their regular meeting held on September 22, 2015 by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Marci Callejo
Secretary Pro Tempore



**PLANNING DEPARTMENT
CONDITIONS OF APPROVAL**

File No(s). PCUP14-028

Date: September 22, 2015

Project Description: A Conditional Use Permit (PCUP14-028) to establish a metal salvage and scrap yard recycling facility on a 2.38 acre site, located at 901 South Sultana Avenue, within the M3 (General Industrial) zoning district (APN: 1049-353-14).

Submitted by Star Scrap Metal.

Reviewed by: Lorena Mejia, Associate Planner
Phone: (909) 395-2036; **Fax:** (909) 395-2420

DETERMINATION:

- The proposed project adequately addresses the Planning Department's concerns. The Planning Department standard conditions of approval, which are applicable to the project, are listed below.
- The proposed project does not adequately address the Planning Department's concerns. However, implementation of the Planning Department standard conditions of approval, in conjunction with special conditions of approval that specifically address project deficiencies, will adequately mitigate all identified concerns. The Planning Department standard and special conditions of approval, which are applicable to the project, are listed below. **All special conditions of approval, which are intended to mitigate project deficiencies, are identified in bold text.**

CONDITIONS OF APPROVAL

The above-described Conditional Use Permit application shall comply with the following conditions of approval:

1.0 Time Limit

- 1.1** Conditional Use Permit approval become null and void one (1) year following the effective date of application approval, unless:

- (a) All conditions of approval have been complied with to the satisfaction of the Planning Director and the approved use has commenced; or
- (b) Prior to the expiration date, a time extension request is filed with the Planning Department on a City application form, accompanied by the required filing fee, and is subsequently approved by the City.

1.2 The time limit specified herein does not supersede any individual time limits specified by these conditions of approval for performance of specific conditions or improvements.

2.0 General Requirements

2.1 Failure to maintain compliance with the herein-listed conditions of approval shall be deemed just cause for revocation of conditional use permit approval.

2.2 The use shall be operated in full conformance with the description and requirements of the Conditional Use Permit on file with the City. Any variations from, or changes in, the approved use (i.e., increase in hours/days of operation, expansion or intensification of use, etc.), must first be reviewed and approved by the Planning Commission prior to commencement of the change.

2.3 The approved use is subject to all conditions, requirements and recommendations from all other affected departments/agencies, provided on the attached reports/memorandums.

2.4 A copy of the herein-listed conditions of approval shall be maintained on the subject premises at all times.

2.5 Should the use for which conditional use permit approval has been granted cease to exist or is suspended for ninety (90) or more consecutive days, such permit shall be deemed null and void.

2.6 The Planning Department may, from time to time, conduct a review of the approved use to ascertain compliance with the herein-stated conditions of approval. Any noncompliance with the conditions of approval shall be immediately referred to the Planning Commission for possible action.

3.0 Parking & Circulation

- 3.1** The project shall provide off-street parking spaces pursuant to the requirements of Ontario Municipal Code § 9-1.3010 (Required Number of Off-Street Parking and Loading Spaces).
- 3.2** Striping of parking spaces, aisles, and driveways, and directional signs conforming to the provisions of Ontario Development Code § 9-1.3035 (Standards for off-street parking facilities), shall be provided.

4.0 Site Lighting

- 4.1** Site lighting shall be reviewed and approved by the Planning Department and Police Department prior to the issuance of building permits.
- 4.2** Exterior lighting shall be arranged or shielded in such a manner as to contain direct illumination on the parking area and avoid glare on any adjoining site.

5.0 Graffiti Removal

- 5.1** Use of anti-graffiti material. Anti-graffiti material, of a type and nature that is acceptable to the Director of Public Works, shall be applied to each of the publicly viewable surfaces on the improvements to be constructed on the site, which are deemed by the Director of Public Works to be likely to attract graffiti (“graffiti attracting surfaces”).
- 5.2** Right of access to remove graffiti. City shall be granted the right of entry over and access to parcels, upon 48-hours of posting of notice by authorized City employees or agents, for the purpose of removing or “painting over” graffiti from graffiti attracting surfaces previously designated by the Director of Public Works, and the right to remove such graffiti.
- 5.3** Supply City with graffiti removal material. City shall be provided sufficient matching paint and/or anti-graffiti material on demand for a period of two (2) years after imposing the condition, for use in the painting over or removal of designated graffiti attracting surfaces.

6.0 Special Conditions of Approval. The project shall comply with the following special conditions of approval:

6.1 Environmental Review.

(a) The proposed project will not have a significant effect on the environment, and a NEGATIVE DECLARATION/MITIGATED NEGATIVE

DECLARATION has been prepared and adopted. All mitigation measures and mitigation monitoring program listed in the Initial Study shall be a condition of project approval and are incorporated herein by reference.

(b) The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

6.2 Additional Fees.

(a) After project's entitlement approval and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

(b) Within 5 days following final application approval, the Notice of Determination (NOD), Notice of Exemption (NOE), filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "*Clerk of the Board*", which will be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in the 30-day statute of limitations for the filing of a CEQA lawsuit being extended to 180 days.

6.3 Additional Requirements.

(a) **Site Plan shall be revised to show a minimum of 15% landscaping on the project site property not to include public right-of-way parkways.**

(b) **(1) to (3) foot landscape berms shall be incorporated into landscape design of the landscape planters along Sultana Avenue, Mission Boulevard and Monterey Avenue to minimize the height impact of screen walls.**

(c) **Screen walls shall be treated with a graffiti-proof coating.**

(d) **Construction drawings shall indicate materials, colors, and height of proposed screen walls and shall include a cross-section indicating adjacent grades.**

(e) **All refuse shall be stored in an appropriate container. Furthermore, all refuse containers shall be stored within a City-approved**

enclosure, which shall be designed to be consistent with the building architecture on the project site.

(f) All indoor or outdoor metal salvage, recycling and processing operations shall be located at least 300 FT away from any dwelling.

(g) All landscape planters shall be landscaped with dense growing evergreen plant material, which will achieve a height of at least 12 to 20 FT and shall be permanently maintained.

(h) All compaction, baling, shearing and shredding equipment shall have advanced dust control features that encapsulate all dust and scrap from discharging into the atmosphere.

(i) All compaction operations are to be conducted within a completely enclosed structure designed to minimize the noise generated by the operations.

(j) A 12-foot high decorative screen wall shall be constructed along the southern property line, in place of the proposed wrought-iron fence.

(k) All on-site equipment and scrap piles shall not be visible from the public right-of-way or extend above the height of the proposed screen wall.

(l) Hours of operation will be Monday thru Friday 8:00 a.m. to 5:00 p.m. and Saturday 8:00 a.m. to 12:00 p.m. Equipment or processing will not be allowed to operate outside of the hours of operation listed above.

(m) Melting, baking, gas and non-gas torch cutting of metals shall not be allowed.

(n) The facility shall only receive their scrap supply from reliable sources that follow the established guidelines set by industry standards (U.S. Institute of Scrap Recycling Industries, Inc., and U.S. National Association of Secondary Materials Industries, Inc.) and shall obtain material data safety sheets and labels for the scrap materials accepted.

(o) Facility will run their facility in accordance with the California Business and Professions Code (CA B&P sections 21600- 21610).

(p) Scrap metals brought to the site for processing will be free of impurities, hazardous or radioactive chemicals.

(q) The proposed metal salvage and scrap yard recycling facility shall not accept contaminated metals or organic materials for recycling that cause objectionable odors.

(r) Above ground storage of hazardous materials greater than 6,000 gallons is not allowed.

(s) Site-wide average of 160 people per acre shall not be exceeded.

(t) Single-acre intensity requirement of 400 people shall not be exceeded.

(u) The Ontario Plan Exhibit LU-07 identifies noise exposure levels for all land uses and requires industrial land uses to maintain a Community Noise Equivalent Level (CNEL) of 70-75 dB and residential land uses to maintain a CNEL of 60-65 dB. The cumulative noise created from the proposed equipment on the project site shall not exceed the exterior CNEL of 60-65 dB of adjoining residential neighborhoods. If a complaint is received regarding high noise levels from adjoining residential uses then the applicant will be required to do a noise study and suspend operations until study is completed and source of noise is identified. Noise source equipment shall be removed from the project site if noise dampening devices cannot reduce the noise to acceptable levels within the adjoining residential neighborhoods.

(v) All equipment shall be properly serviced and maintained to manufacturer specifications.

(w) Un-announced on-site bi-annual inspections will be conducted during operating hours to ensure that conditions of approval are being met.

(x) Un-announced off-site quarterly inspections will be conducted during operation hours to ensure that conditions of approval are being met.

(y) Bins, containers, equipment or scrap metal will not be placed in areas that are required of any vehicles.

(z) Any equipment proposed at the facility shall be provided to the Planning Department for approval. Equipment information shall include, but not be limited to, a model number, manufacturer information, photographs, video demonstration, equipment dimensions, equipment height, noise operating specifications, equipment dust control measures and emissions specifications. A site plan to scale shall also be provided showing the location of the proposed equipment. The Planning Director shall determine if proposed equipment will require a Conditional Use Permit amendment.



ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Engineering Services Division [Land Development and Environmental], Traffic/Transportation Division,
Ontario Municipal Utilities Company and Management Services Department conditions incorporated herein)

<input type="checkbox"/> DEVELOPMENT PLAN <input checked="" type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES	
PROJECT FILE NO. PCUP14-028 RELATED FILE NO(S).		
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: __/__/__		

CITY PROJECT ENGINEER & PHONE NO: Miguel Sotomayor (909) 395-2108 *MS*

CITY PROJECT PLANNER & PHONE NO: Lorena Mejia (909) 395-2276

DAB MEETING DATE: September 22, 2015

PROJECT NAME / DESCRIPTION: A Conditional use Permit to establish a recyclable material facility (Star Scrap Metal)

LOCATION: 901 South Sultana Avenue

APPLICANT: Zack Stein (Star Scrap Metal)

REVIEWED BY: *Omar Gonzalez* 9/14/15
 Omar Gonzalez, P.Eng Date
 Senior Associate Civil Engineer

APPROVED BY: *Raymond Lee* 9/14/15
 Raymond Lee, P.E. Date
 Assistant City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2010-021) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
_____ feet on _____
Property line corner 'cut-back' required at the intersection of _____
and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s): _____
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Management Services Department at (909) 395-2124 regarding this requirement.
(1) _____
(2) _____
- 1.08 File a Consent and Waiver to Annexation agreement, together with an annexation processing fee, to annex the subject property to a Street Lighting Maintenance Assessment District (SLMD). The agreement and fee shall be submitted a minimum of three (3) months prior to, and the annexation shall be completed, prior to final subdivision map approval or issuance of building permits, whichever occurs first. An annual special assessment shall be levied in the SLMD and will be collected along with annual property taxes. The special assessment will provide funding for costs associated with the annual operation and maintenance of the street lighting facilities and appurtenances that serve the property. Contact Management Services at (909) 395-2124 regarding this requirement.
- 1.09 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits,



whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Management Services at (909) 395-2353 to initiate the CFD application process.

- 1.10 New Model Colony (NMC) Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.11 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a duplicate photo mylar of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per _____
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and will be a recognized parcel once a Certificate of Compliance is processed and recorded unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
- 2.05 Apply for a: Certificate of Compliance; Lot Line Adjustment
 - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.
- 2.07 Submit a soils/geology report.
- 2.08 Other Agency Permit/Approval: Submit a copy of the approved permit, non-interference letter and/or other form of approval of the project from the following agency or agencies:
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service



- United States Army Corps of Engineers (USACE)
- California Department of Fish & Game
- Inland Empire Utilities Agency (IEUA)
- Other:**

- **Utility Companies (Southern California Edison, Southern California Gas, etc.) located in the public utility easement on vacated Carlton Street.**
- **Union Pacific Railroad Company for Mission Avenue widening**

2.09 Dedicate to the City of Ontario the right-of-way described below:

- **Property line corner 'cut-back' required at the intersection of Mission Boulevard and Sultana Avenue per City Standard 1301.**

2.10 Dedicate to the City of Ontario the following easement(s):

- **5 foot sidewalk easement behind the proposed drive approaches located along Mission Boulevard.**

2.11 New Model Colony (NMC) Developments:

1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.

2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.

3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).

2.12 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.

2.13 Other conditions: _____



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.14 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Mission	Sultana	Monterey	Street 4
Curb and Gutter	<input checked="" type="checkbox"/> New; 40 ft. from existing median curb <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New ^(c) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New ^(c) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen approx. 2'-7' additional feet along frontage, including pavm't Transitions (ultimate AC width- 38' from existing median curb) ^(b)	<input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input checked="" type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove two existing and replace one	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New ^(d) <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)



Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input checked="" type="checkbox"/> Replace existing street light fixtures to current standards	<input type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input checked="" type="checkbox"/> Main (modify existing culverts) <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____



Other Improvements	_____	_____	_____	_____
	_____	_____	_____	_____
	_____	_____	_____	_____

Specific notes for improvements listed in item no. 2.15, above:

- a. The applicant/developer shall be responsible for the design and construction of the ultimate half width frontage improvements on Mission Boulevard, including but not limited to street widening, curb and gutter, sidewalk, street light, access ramp, parkway landscaping and irrigation, traffic signal modification and signing and striping. The applicant/developer shall also be responsible for any relocation/modification of guard rail and UPRR gates as necessary to accommodate widening improvements. All improvements shall be in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- b. Grind and overlay up to Mission Boulevard median curb may be required based on the existing street cross section and final street design.
- c. The applicant/developer shall construct curb and gutter along the southern existing driveway along Sultana and the access to vacated Carlton Street along Sultana Avenue and Monterey Avenue.
- d. The applicant/developer shall install sidewalk along the southern existing driveway along Sultana and the access to vacated Carlton Street along Sultana Avenue.

- 2.15 Construct a 0.15' asphalt concrete (AC) grind and overlay on the following street(s): _____
- 2.16 Reconstruct the full pavement structural section based on existing pavement condition and approved street section design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter. 'Pothole' verification of existing pavement section required prior to acceptance/approval of street improvement plan.
- 2.17 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.18 Other conditions:
 - a. The applicant/developer shall salvage to City the existing street light located on vacated Carlton Street.
 - b. The on-site power poles being relocated shall not be placed in the public right of way.

C. SEWER

- 2.19 An 8 inch sewer main is available for connection by this project in Sultana Avenue. (Ref: Sewer plan bar code: S10311)
- 2.20 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.21 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.



- 2.22 Other conditions:**
- a. The applicant/developer shall apply for a Wastewater Discharge Permit and shall comply with the requirements which may include but not be limited to new sewer pretreatment equipment.
 - b. The applicant/developer shall install an on-site monitoring manhole.
 - c. The applicant/developer shall install a cleanout on the existing sewer lateral, per City Standards.

D. WATER

- 2.23 An 8" inch water main is available for connection by this project in Sultana Avenue.**
- 2.24 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.**
- 2.25 Submit documentation that shows expected peak demand water flows for modeling the impact of the subject project to the existing water system. The project site is within a deficient public water system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impacts to the deficient public water system, including, but not limited to upgrading of the existing water main(s) and/or construction of a new main(s).**
- 2.26 Design and construct appropriate cross-connection protection for new potable water and fire service connections. Appropriate protection shall be based upon the degree of hazard per Title 17 of the California Code of Regulations. The minimum requirement is the installation of a backflow prevention device per current City standards. All existing potable water and fire services that do not meet the current minimum level of protection shall be upgraded (retrofitted) with the appropriate backflow protection assembly per current City standards.**
- 2.27 Request a water flow test to be conducted, to determine if a water main upgrade is necessary to achieve required fire flow for the project. The application is available on the City website (www.ci.ontario.ca.us) or Applicant can contact the City of Ontario Fire Department at (909) 395-2029 to coordinate scheduling of this test. Applicant shall design and construct a water main upgrade if the water flow test concludes that an upgrade is warranted.**
- 2.28 Other conditions:**
- a. All existing water services shall be brought up to current standards (including backflow devices).
 - b. The existing 4-inch water main along Sultana Avenue shall be abandoned back to the mains in Maitland Street and Carlton Street and any existing services connected to it shall be replaced and connected to the 8-inch main in Sultana Avenue, per City Standards.
 - c. The existing 4-inch water main along and within the former Carlton Street right-of-way (line services the existing Mission Boulevard irrigation meter) shall be abandoned back to the main in Sultana Avenue and any existing services connected to it shall be replaced and connected to the 8-inch main in Sultana Avenue, per City Standards.
 - d. Separate water service connections are required for domestic, irrigation and fire system (if required).



E. RECYCLED WATER

- 2.29 A _____ inch recycled water main is available for connection by this project in _____.
(Ref: Recycled Water plan bar code: _____)
- 2.30 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.31 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. Applicant shall be responsible for construction of a connection to the recycled water main for approved uses, when the main becomes available. The cost for connection to the main shall be borne solely by Applicant.
- 2.32 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.33 Other conditions:
- a. The irrigation service and meter shall be installed along Sultana Avenue just south of Mission Boulevard, temporarily connecting to the 8-inch potable water main in Sultana Avenue.

F. TRAFFIC / TRANSPORTATION

- 2.34 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
1. On-site and off-site circulation
2. Traffic level of service (LOS) at 'build-out' and future years
3. Impact at specific intersections as selected by the City Engineer
- 2.35 Other conditions:
- a. Truck access from Sultana Avenue shall not be allowed.
- b. The applicant/developer shall be responsible to design and construct improvements to the southeast corner of Mission Boulevard and Sultana Avenue as necessary to close off vacated Carlton Street including, but not limited to, drainage, curb and gutter, sidewalk and landscaping improvements.
- c. The applicant/developer shall be responsible to remove the existing access (vacated Carlton Street) onto Monterey Avenue and design and construct curb and gutter to close the access.
- d. The applicant/developer shall be responsible to replace the existing street light fixtures with the current City approved LED equivalent fixtures along Sultana Avenue project frontage. Please refer to the Traffic and Transportation Design Guidelines.
- e. "No Parking Anytime" signs shall be installed along property frontages of Sultana Avenue and Mission Boulevard.
- f. The proposed gates controlling site access to/from Mission Boulevard and Sultana Avenue shall remain open during business hours.



- g. The applicant/developer shall be responsible to provide access onto Mission Boulevard for all demolition/construction on-site activities. Construction vehicles and equipment will not be allowed to take access from Sultana Avenue.

G. DRAINAGE / HYDROLOGY

- 2.36 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.37 Design and construct a storm water detention facility on the project site. An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Post-development flows from the site shall not exceed 80% of pre-development flows, in accordance with the approved hydrology study and improvement plans.
- 2.38 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.39 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.40 Calculate Storm Drain Impact Fees based on square footage or acreage of the subject site.
- 2.41 Other conditions:
 - a. The applicant/developer shall abandon the existing catch basin located on vacated Carlton Street.
 - b. The applicant/developer shall modify the existing culverts located on Mission Boulevard.

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.42 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels. If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted. Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.43 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.



2.44 Other conditions: _____

J. SPECIAL DISTRICTS

2.45 File an application, together with an initial payment deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community facilities District Act of 1982. The application and fee shall be submitted a minimum three (3) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact the Management Services Department at (909) 395-2353 to initiate the CFD application process.

2.46 File a Consent and Waiver to Annexation agreement, together with an annexation processing fee, to annex the subject property to a Street Lighting Maintenance Assessment District (SLMD). The agreement and fee shall be submitted three (3) months prior to, and the annexation shall be completed prior to, final subdivision map approval or issuance of building permits, whichever occurs first. An annual special assessment shall be levied in the SLMD and will be collected along with annual property taxes. The special assessment will provide funding for costs associated with the annual operation and maintenance of the street lighting facilities and appurtenances that serve the property. Contact the Management Services Department at (909) 395-2124, regarding this requirement.

2.47 Other conditions: _____



3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.

- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.

 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.

 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.

- 3.03 Confirm payment of all Development Impact Fees (DIF) to the Building Department.

- 3.04 Submit electronic copies of all approved plans/studies/reports (i.e. hydrology, traffic, WQMP, off-site improvement plans etc.).

- 3.05 Request existing street light mylars (L-10702) from City and make revisions to reflect LED upgrade on Sultana Avenue.



EXHIBIT 'A'

ENGINEERING DEPARTMENT First Plan Check Submittal Checklist

Project Number: PCUP14-028

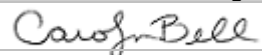
The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
6. **Three (3) sets of Public Street improvement plan with street cross-sections (submit electronic copies of approved plans)**
7. **Three (3) sets of Private Street improvement plan with street cross-sections**
8. **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9. **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10. **Four (4) sets of Public Sewer improvement plan**
11. **Five (5) sets of Public Storm Drain improvement plan (submit electronic copies of approved plans)**
12. **Three (3) sets of Public Street Light improvement plan (submit electronic copies of approved plans)**
13. **Three (3) sets of Signing and Striping improvement plan (submit electronic copies of approved plans)**
14. **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Specifications available at [http:// www.ci.ca.us/index.aspx?page=278](http://www.ci.ca.us/index.aspx?page=278).**
15. **Two (2) copies of Water Quality Management Plan (WQMP) (submit electronic copies of approved WQMP)**
16. **One (1) copy of Hydrology/Drainage study**
17. **One (1) copy of Soils/Geology report**
18. **Payment for Final Map/Parcel Map processing fee**
19. **Three (3) copies of Final Map/Parcel Map**
20. **One (1) copy of approved Tentative Map**
21. **One (1) copy of Preliminary Title Report (current within 30 days)**
22. **One (1) copy of Traverse Closure Calculations**



23. **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
24. **Two (2) copies of Engineering Report and an electronic file (PDF format on a compact disc) for recycled water use**
25. **Other:**
- a. **Two (2) copies Certificate of Compliance (legal and plat), supporting documents and associated fees**

**CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
303 East "B" Street, Ontario, CA 91764**

DAB CONDITIONS OF APPROVAL	
Sign Off	
 Carolyn Bell, Sr. Landscape Planner	9/1/15 Date

Reviewer's Name: Carolyn Bell, Sr. Landscape Planner	Phone: (909) 395-2237
--	---------------------------------

D.A.B. File No.: PCUP14-028 Rev 1	Related Files:	Case Planner: Lorena Mejia
--------------------------------------	----------------	-------------------------------

Project Name and Location: Star Scrap Metal 901 So Sultana
--

Applicant/Representative: JRMA Architects

<input checked="" type="checkbox"/>	A site plan (dated 7/27/15) meets the Standard Conditions for New Development and has been approved with the condition that the following items below shall be corrected.
<input type="checkbox"/>	A site plan (dated) has not been approved. Corrections noted below are required prior to DAB approval.

CONDITIONS OF APPROVAL

- Show the 15% landscape coverage -not to include the right of way areas.
- Call out all fences and walls, materials and heights.
- Dimension all planters to have a minimum 5' wide inside dimension with 6" curbs and 12" wide curbs where parking spaces are adjacent to planters.
- Show parking lot island planters adjacent to trash enclosures for screening.
- Show ADA access route from the public sidewalk, ADA parking spaces and access aisles.
- Design spaces so utilities such as backflows and transformers are screened with 5' of landscape.
- Show lights, fire hydrants, water and sewer lines to avoid conflict with required tree locations.
Show utilities on landscape plans.
- Note for compaction to be no greater than 85% at landscape areas.
- Note all finished grades at 1 ½" below finished surfaces.
- Provide a tree inventory for existing trees include genus, species, trunk diameter, canopy width and condition. Show and note existing trees in good condition to remain and note trees proposed to be removed. Add tree protection notes on construction and demo plans.
- Show parkway on Mission ave with street trees spaces 30' apart: Quercus agrifolia.
- Show parkway on sultana ave with street trees spaces 30' apart: Lagerstroemia indica Natchez
- Show parking lot shade trees with min 30' canopy at maturity; Pistacia at each parking row end.
- Call out type of proposed irrigation system and include preliminary MAWA calculation. Use new MWELo formula and landscape area not including right of ways.
- Show landscape hydrozones to separate low water from moderate water landscape.
- Replace Cercidium and Prosopsis with low water shade trees.
- Change gravel areas to landscape and mulch areas.
- Change vine to a clinging type that is sun, shade, frost and drought tolerant.
- Note for agronomical soil testing and include report on landscape plans.
- Add trees to planters behind sidewalk on Sultana Ave.



CITY OF ONTARIO

MEMORANDUM

TO: Lorena Mejia, PLANNING DEPARTMENT

FROM: Douglas Sorel, POLICE DEPARTMENT

DATE: May 21, 2015

SUBJECT: PCUP14-028 : A Conditional Use Permit to establish a recyclable material salvage facility for Star Scrap Metal at 901 S. Sultana Avenue

All Police "Standard Conditions of Approval" contained in Resolution No. 2010-021 apply. In addition, the following conditions are required for this project:

1. The Applicant shall comply with all laws set forth in the California Business and Professions Code regulating the operations and practices of recycling centers. (CA B&P sections 21600- 21610)
2. The business shall install and maintain a security camera surveillance system. Each camera shall record at a minimum of 640x480 lines of resolution and at a minimum of fifteen (15) frames per second. Recorded video shall be stored for at least 30 days and made available to the Police Department upon request. Cameras shall be installed in such a way to record all vehicles entering/exiting the facility and at locations where transactions with customers occur. Cameras shall be positioned so as to capture images of customers' faces and clothing. Cameras shall be kept in proper working order (ie. kept in focus at all times, set to proper exposure levels for lighting conditions, etc.)
3. Loitering shall not be permitted on the property. No Loitering signs must be posted.
4. Camping as defined by Ontario Municipal Code 5-23.02 will not be allowed on the premises.
5. No personal belongings may be stored in or around the facility.
6. Graffiti abatement by the business owner/licensee, or management shall be immediate and on-going on the premises, but in no event shall graffiti be allowed unabated on the premises for more than 72 hours. Abatement shall take the form of removal, or shall be covered/painted over with a color

reasonably matching the color of the existing building, structure, or other surface being abated. Additionally, the business owner/licensee, or management shall notify the City within 24 hours at (909) 395-2626 (graffiti hotline) of any graffiti elsewhere on the property not under the business owner/licensee's or management control so that it may be abated by the property owner and/or the City's graffiti team.

7. The Applicant shall meet all requirements set forth by the Traffic Engineering Department to mitigate all truck-stacking and traffic-related issues.

The Applicant is invited to contact Douglas Sorel at (909) 395-2873 regarding any questions or concerns.



CITY OF ONTARIO

MEMORANDUM

TO: Lorena Mejia,
Planning Department

FROM: Adam A. Panos, Fire Protection Analyst
Bureau of Fire Prevention

DATE: May 20, 2015

SUBJECT: PCUP14-028 - A Conditional Use Permit to establish a recyclable material salvage facility for Star Scrap Metal, located on 2.38 acres, at 901 South Sultana Avenue, within the M3 (General Industrial) zone.
APN: 1049-353-14

- The plan **does** adequately address Fire Department requirements at this time.
- No comments or conditions
 - Conditions of approval below.
- The plan **does NOT** adequately address Fire Department requirements at this time.
- Comments / corrections below.
-

SITE AND BUILDING FEATURES:

- A. Type of Building Construction Used: N/A
- B. Roof Materials Used: N/A
- C. Ground Floor Area(s): N/A
- D. Number of Stories: N/A
- E. Total Square Footage: N/A
- F. Type of Occupancy: U / S-2

CONDITIONS OF APPROVAL:

1.0 GENERAL

- 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ci.ontario.ca.us, click on “Fire Department” and then on “Standards and Forms.”
- 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum twenty-six (26) ft. wide. See Standard #B-004.
- 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.

3.0 WATER SUPPLY

- 3.1 The required fire flow per Fire Department standards, based on the 2013 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.

- 3.2 Off-site street fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- 3.3 Buildings that exceed 100,000 square feet in floor area shall provide an onsite looped fire protection water line around the building(s.) The loops shall be required to have two or more points of connection from a public circulating water main.
- 3.4 The public water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and locations(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.4 Fire Department Connections (FDC's) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department Connection(s) shall be painted red, five feet either side, per City standards.
- 4.5 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- 4.6 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.
- 4.7 A fixed fire extinguishing system is required for the protection of hood, duct, plenum and cooking surfaces. This system must comply with National Fire Protection Association (NFPA)

Standards 17A and 96. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

- 4.8 Hose valves with two and one half inch (2 ½”) connections will be required on the roof, in locations acceptable to the Fire Department. These hose valves shall be take their water supply from the automatic fire sprinkler systems, and shall be included in the design submitted for these systems. Identification shall be provided for all hose valves per Standard #D-004.
- 4.9 Due to inaccessible rail spur areas, two and one half inch 2-1/2” fire hose connections shall be provided in these areas. These hose valves shall be take their water supply from the automatic fire sprinkler systems, and shall be included in the design submitted for these systems. Identification shall be provided for all hose valves per Standard #D-004.

5.0 BUILDING CONSTRUCTION FEATURES

- 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1.3280 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- 5.4 Multiple unit building complexes shall have building directories provided at the main entrances. The directories shall be designed to the requirements of the Fire Department, see Section 9-1.3280 of the Ontario Municipal Code and Standard #H-003.
- 5.5 All residential chimneys shall be equipped with an approved spark arrester meeting the requirements of the California Building Code.
- 5.6 Knox brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.
- 5.8 The building shall be provided with a Public Safety 800 MHZ radio amplification system per the Ontario Municipal Code Section 4-11.09 (n) and the CFC. The design and installation shall be approved by the Fire Department.

6.0 OTHER SPECIAL USES

- 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PCUP14-028
 Address: 901 S Sultana Ave
 APN: 1049-353-14
 Existing Land Use: Outdoor Storage
 Proposed Land Use: Outdoor recyclable material metal salvage yard
 Site Acreage: 2.38 Proposed Structure Height: 20 feet
 ONT-IAC Project Review: N/A
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia
 Contact Info: 909-395-2276
 Project Planner: Lorena Mejia
 Date: 1/7/15
 CD No.: 2014-085
 PALU No.: _____

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input checked="" type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input checked="" type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input type="radio"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input checked="" type="checkbox"/> Airspace Avigation Easement Area	
<input checked="" type="checkbox"/> Zone 4		Allowable Height: <u>97-110 feet</u>	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Compatibility Zones:

Zone A
 Zone B1
 Zone C
 Zone D
 Zone E

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP Consistent Consistent with Conditions Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT provided the following conditions are met:

Airport Planner Signature: _____

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2014-085
PALU No.: _____

PROJECT CONDITIONS

1. The project site is located within Safety Zone 4 and above ground storage of hazardous materials greater than 6,000 gallons is not allowed (ALUCP Policy S4b (Hazardous Material Storage)).
2. The project site is located within Safety Zone 4 and must not exceed a sitewide average of 160 people per acre and must not exceed single-acre intensity requirement of 400 people.



CITY OF ONTARIO

MEMORANDUM

TO: Chairman and Members of the Planning Commission

FROM: Scott Murphy, Planning Director *SM*

DATE: September 22, 2015

SUBJECT: ENVIRONMENTAL ASSESSMENT AND TENTATIVE PARCEL MAP REVIEW FOR FILE NO. PMTT15-002: A Parcel Map (PM 19646) to subdivide a 1.85 acre parcel of land into a single parcel for condominium purposes, located at 921 North Milliken Avenue, within the Garden Commercial land use district of The Ontario Center Specific Plan. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15315 (Minor Land Divisions) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 210-501-23); **submitted by OA Partners, LLC.**

The above project is requested to be continued to the next Planning Commission meeting on October 27, 2015.

SM



CITY OF ONTARIO

MEMORANDUM

TO: Chairman and Members of the Planning Commission

FROM: Scott Murphy, Planning Director *SM*

DATE: September 22, 2015

SUBJECT: MONTHLY PLANNING DEPARTMENT ACTIVITY REPORT; MONTH OF AUGUST 2015

Attached, you will find the Planning Department Monthly Activity Report for the month of August 2015. The report describes all new applications received by the Planning Department and actions taken on applications during the month. Please contact me if you have any questions regarding this information.

The attached reports, along with reports from past months, may also be viewed on the City's web site at www.ci.ontario.ca.us/index.cfm/22418.

Monthly Activity Report—New Applications

Month of: August 2015

PCUP15-018: Submitted by **Mediterranean Cuisine Operating Company, LLC**
A Conditional Use Permit to establish alcoholic beverage sales, limited to beer and wine (Type 41 ABC license), for on-site consumption in conjunction with an existing 2139-square foot restaurant on a 0.94-acre parcel of land located at 4261 East Inland Empire Boulevard, within the Urban Commercial land use district of the Ontario Center Specific Plan.

PDEV15-028: Submitted by **BrookCal Ontario LLC**
A Development Plan to construct 124 single-family dwellings on approximately 16.89 acres of land generally located at the northeast corner of Edison Avenue and Turner Avenue, within Planning Area 10A of The Avenue Specific Plan (APNs: 218-392-10 & 16; and 218-402-23 & 24).

PDEV15-029: Submitted by **Evergreen Development Services**
A Development Plan to construct a 11,878 square foot tire sales facility on 1.44 acres of land located on the east side of Milliken Avenue approximately 400 south of 4th Street, within the Commercial/Office land use district of the California Commerce Center North/Ontario Gateway/Wagner Properties (Ontario Mills) Specific Plan (APN: 0238-014-56).

PDEV15-030: Submitted by **Verizon Wireless**
A Development Plan to construct a wireless telecommunications facility (monoecalyptus) totaling 360 square feet on approximately 4.1 acres of land located at the southwest corner of Riverside Drive and Vineyard Ave, within the SP(AG) zoning district (APN: 0216-174-17).

PGPA15-001: Submitted by **City of Ontario**
A General Plan Amendment to revise the Land Use Map (LU-01) and Buildout Table (LU-03) of the Policy Plan, modifying the land use designation on seven parcels of land, including: [1] from Business Park to Industrial on two parcels (APN: 1011-132-17, 19, 21, 34, 37 and 39); [2] from Low Density Residential to Industrial on one parcel (APN: 1049-231-12); [3] from Neighborhood Commercial to Low Density Residential, with an Industrial Transitional Overlay, on three parcels (APN: 1049-231-24, 25 & 26); and [4] from Industrial to Open Space — Non Recreation on one parcel (APN: 0238-152-15).

PHP15-007: Submitted by **VICTORIA VASQUEZ**
A Mills Act Contract for 204 East J Street, a single family residence within the Rosewood Court historic district (APN: 1048-071-06).

PLFD15-003: Submitted by **Patricia Zick**
A Large Family Daycare for a maximum of 14 children (including 4 infants), located at 2426 South Driftwood Place (APN: 1083-111-19).

Monthly Activity Report—New Applications

Month of: August 2015

PMAS15-002: Submitted by Wallace Wilson
Change of ownership to a previously established massage establishment located at 826 South Mountain Avenue.

PSGN15-088: Submitted by International Fellowship of Churches
A Sign Plan to install a wall sign (14.66 SF) for International Fellowship of Churches, located at 1115 South Grove Avenue, Suite 104.

PSGN15-089: Submitted by Spirit Halloween
A Sign Plan to install a temporary wall sign (40 SF) for Spirit Halloween, located at 2645 East Riverside Drive.

PSGN15-090: Submitted by Spirit Halloween
A Sign Plan to install a temporary wall sign (40 SF) for Spirit Halloween, located at 2645 East Riverside Drive.

PSGN15-091: Submitted by Alexis Estrada
A Sign Plan to install a wall sign (18.75 SF) to read "Not Your Mama's Wings," located at 1150 East Philadelphia Street, Suite 112.

PSGN15-092: Submitted by Alexis Estrada
A Sign Plan to install a wall sign to read "La Michoacán Ice Cream," located at 1040 North Mountain Avenue, Suite 1.

PSGN15-093: Submitted by Sign Development Inc
A Sign Plan to install a wall sign to read "Food Shop", canopy logo signs, and refacing an existing monument sign, for Valero Gas Station, located at 703 South Euclid Avenue.

PSGN15-094: Submitted by superior electrical advertising
A Sign Plan to install two wall signs located at 2403 South Vineyard Avenue, Suite D.

PSGN15-095: Submitted by AAHS Signs
A Sign Plan to install three temporary banners (24 SF, each) for "Halloween Club" (9/16/2015 through 10/31/2015), located at 1640 East Fourth Street, Suite A.

PSGN15-096: Submitted by Dynamite Sign Group
A Sign Plan to install two wall signs and one monument sign for Rubio's Restaurant, located at 980 North Ontario Mills Circle.

Monthly Activity Report—New Applications

Month of: August 2015

PSGN15-097: Submitted by Yesco Signs LLC
A Sign Plan to install three wall signs, including one to read "STARBUCKS COFFEE" (21.9 SF) and two 48-inch logos (12.56 SF, each); and three directional signs to read "DRIVE THRU" (3.98 SF, each), located at 2304 South Mountain Avenue.

PSGN15-098: Submitted by Lucky Signs
A Sign Plan to install one wall sign (16 SF) for Cali Threading, located at 1036 North Mountain Avenue.

PSGN15-099: Submitted by Denco Sales
A Sign Plan to install two wall signs for Denco Sales, located at 2018 East Cedar Street.

PSGN15-100: Submitted by Hyung Im
A Sign Plan to install two wall signs (27 square feet each) and 1 new pylon sign for WaBa Grill, located at 5030 East Fourth Street.

PSGN15-101: Submitted by Lucky Elephant
A Sign Plan to install a temporary banner for Lucky Elephant Restaurant (30 SF), to read "Lunch Special," located at 1515 North Mountain Avenue, Suite E.

PSGN15-102: Submitted by AD Signs Electrical Advertising Inc.
A Sign Plan to install one monument sign for Fox Rent-A-Car, located at 1776 East Holt Boulevard.

PSGN15-103: Submitted by Signs and Services
A Sign Plan to install one wall sign to read "Made-in-China.com USA" (61 SF), located at 1150 South Milliken Avenue.

PSGN15-104: Submitted by Inland Signs
A Sign Plan to install one wall sign (19 SF) for Haven Agency, located at 3175 East Sedona Court, Suite B.

PSGN15-105: Submitted by Dong Bang Sign
A Sign Plan to install one wall sign (18 SF) for WaBa Grill, located at 5030 East Fourth Street.

PSGP15-006: Submitted by International Fellowship of Churches
A Sign Plan to install one wall sign (14.6 SF) for International Fellowship of Churches, 1115 South Grove Avenue, Suite 104.

Monthly Activity Report—New Applications

Month of: August 2015

PTUP15-050: Submitted by Ven Thich Ming Dung

A Temporary Use Permit for Buddhist Mother's Day prayer time. No activities will occur outdoors; everything contained within building. Submitted as required by PCUP09-020. Event on 9/6/2015, from 10am to 1pm.

PTUP15-051: Submitted by Empire Electronic Corp

A Temporary Use Permit for temporary office trailer occupying 7 parking spaces at the rear of the building located at 5550 East Jurupa Avenue. 8/2015 through 10/2016.

PTUP15-052: Submitted by Color Vibe

A Temporary Use Permit for Color Vibe 5k run to be held at Ontario Mills ring road and parking lot on 8/30/2015, from 7:00AM to 10:00AM.

PTUP15-053: Submitted by Ontario Convention Center & Visitors Bureau

A Temporary Use Permit for the Route 66 Cruisin' Reunion, located on Euclid Avenue, between Holt Avenue and Fourth Street. 9/18/2015 through 9/20/2015. Event includes live entertainment, beer and wine sales, and multiple vendors.

PTUP15-054: Submitted by Athena O'Brien

A Temporary Use Permit for a Music Festival, with food and merchandise vendors, located at the Cucamonga Guasti Regional Park. 8/22/2015, from 10:00AM to 6:00PM. No Alcohol to be served.

PTUP15-055: Submitted by City of Ontario - Recreation Department

A Temporary Use Permit for City Sponsored annual 5K Reindeer Run and Rudolph's Dash, located at the Citizen's Business Bank Arena parking lot, 4000 East Ontario Center Parkway. 12/12/2015.

PTUP15-056: Submitted by Ontario Fury

A Temporary Use Permit for Red Bull Street Soccer Tournament, located at the Citizen's Business Bank Arena parking lot, 4000 East Ontario Center Parkway. 9/12/2015.

PTUP15-057: Submitted by Carlos Noh

A Temporary Use Permit for a car show with live entertainment (bands) and alcohol sales, located at the Citizen's Business Bank Arena parking lot, 4000 Ontario Center Parkway. 9/13/2015.

PTUP15-058: Submitted by Scandia

A Temporary Use Permit for Annual Haunted House, located at Scandia, 1155 South Wanamaker Avenue.

PTUP15-059: Submitted by Ontario Elks Lodge

A Temporary Use Permit for the 6th annual car show at Elks Lodge parking lot, 1150 West Fourth Street. Event includes DJ, raffles, vendors, and alcohol sales. 10/11/2015, 8:00AM to 2:00PM.

Monthly Activity Report—New Applications

Month of: August 2015

PTUP15-060: Submitted by Truth in Love Ministries
Temporary Use Permit for a "Harvest Festival" at Truth in Love Family Ministries, located at 531 North Euclid Avenue. Includes games, candy, cake walks, face painting, and live entertainment. No alcohol. 10/31/2015, 5:30PM to 9:30PM.

PVER15-051: Submitted by Planning and Zoning Resource Company
Zoning Verification for 3633 East Guasti Road.

PVER15-052: Submitted by Daniel Fitzgerald
Zoning Verification for 118 West H Street.

PVER15-053: Submitted by Jessica Edge
Zoning Verification letter for 1777 Vintage Avenue.

PVER15-054: Submitted by Mickey Wherritt
Zoning Verification for 4500 East Mills Circle.

PVER15-055: Submitted by CH Biotech R&D Co., Ltd.
Zoning Verification for a coffee roasting and packaging land use, located at 827 South Wanamaker Avenue.

Monthly Activity Report—Actions

Month of: August 2015

Development Advisory Board — August 3, 2015

ENVIRONMENTAL ASSESSMENT, TENTATIVE PARCEL MAP, DEVELOPMENT PLAN, AND VARIANCE REVIEW FOR FILE NOS. PDEV15-001, PMTT15-001 (PM 19650) & PVAR15-001: A Tentative Parcel Map (File No. PMTT15-001 / PM 19650) to subdivide approximately 5.11 acres of land into 3 parcels, a Development Plan (File No. PDEV15-001) to construct 3 buildings totaling 103,637 square feet on the proposed lots, and a Variance (File No. PVAR15-001) to deviate from the minimum Archibald Avenue setback, from 35 feet to 10 feet, located at the northeast corner of Archibald Avenue and Mission Boulevard, within the Business Park land use district of the Airport Business Park (Hofer Ranch) Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with an amendment to the Airport Business Park (Hofer Ranch) Specific Plan (File No. PSPA04-001), for which a Mitigated Negative Declaration was adopted by the City of Ontario City Council on June 7, 2005. This Application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 0211-261-17); **submitted by Orbis Real Estate Partners, LLC.** Planning Commission action is required.

Action: The Development Advisory Board APPROVED decisions recommending the Planning Commission approve File Nos. PDEV15-001, PMTT15-001 (Tentative Parcel Map No. 19650), and PVAR15-001, subject to departmental conditions of approval.

Zoning Administrator — August 3, 2015

ENVIRONMENTAL ASSESSMENT AND FILE NO. PCUP15-006: A Conditional Use Permit to establish an adult social rehabilitation residential facility within an existing 5 bedroom, 3,000 square foot residence, generally located north of the northwest corner of G Street and Euclid Ave, on 0.46 acres of developed land, within the C1 (Shopping Center Commercial) and EA (Euclid Avenue Overlay) zoning districts at 747 N Euclid Avenue, within the Euclid Avenue Historic District (APN: 1048-271-16); **submitted by Helping Hearts California, LLC.**

Action: The Zoning Administrator APPROVED a decision approving File No. PCUP15-006 subject to departmental conditions of approval.

City Council — August 4, 2015

ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT AGREEMENT FILE NO. PDA15-002: A Development Agreement (First Amendment) between the City of Ontario and BrookCal Ontario, LLC, to amend Development Agreement File No. PDA 10-002 to update certain infrastructure provisions of the existing Development Agreement for the development of up to 1,146 residential units and 10 acres of commercial on 178.66 acres of land within Planning Areas 9A, 10A, 10B and

Monthly Activity Report—Actions

Month of: August 2015

11 of The Avenue Specific Plan, located south of Schaefer Avenue, north of Edison Avenue, between Turner Avenue and Haven Avenue. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and Chino Airport and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT and Chino Airports. The environmental impacts of this project were previously analyzed in an addendum to The Avenue Specific Plan EIR (SCH# 2005071109) that was adopted by the City Council on June 17, 2014. This application is consistent with the previously adopted EIR and introduces no new significant environmental impacts. (APN: 0218-201-05, 0218-201-30, 0218-201-39, 0218-201-42, 0218-201-43 and 0218-201-45); **submitted by BrookCal Ontario, LLC.** At their meeting on June 23, 2015 the Planning Commission unanimously voted 7 -0 to recommend that the City Council approve the application.

Action: The City Council APPROVED an ordinance approving the Development Agreement (File No. PDA15-002) between BrookCal Ontario, LLC, Craig Development Corporation, and the City of Ontario.

ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT CODE AMENDMENT REVIEW FOR FILE NO. PDCA11-003:

A comprehensive update to the City of Ontario Development Code (Ontario Municipal Code Title 9) to establish consistency with The Ontario Plan, and various amendments to the Ontario Municipal Code to provide for the logical arrangement of provisions and eliminate duplications and inconsistencies for properties in the City of Ontario. Furthermore, Development Code Amendment provisions will be revised to:

- Establish standards for the orderly physical development of the City;
- Preserve the character and quality of existing neighborhoods;
- Promote good urban design;
- Achieve the proper arrangement of land uses envisioned in The Ontario Plan;
- Provide for the establishment of a full range of residential, commercial agriculture, office, commercial, industrial, public, and transportation-related activities, as envisioned by The Ontario Plan;
- Promote the economic stability of land uses that conform to The Ontario Plan;
- Achieve compatibility between Ontario International Airport and the land uses and new development that surround it;
- Establish comprehensive procedures for appropriate and effective public involvement in land use, development, subdivision, and environmental decisions, and provide for the processing of applications in an expedient manner;
- Establish procedures for the open and transparent processing of applications;
- Establish standards and guidelines that promote and inspire innovative and sustainable subdivision, site, building, landscape, and infrastructure design;
- Promote the preservation and protection of the City's historic character and resources;

City of Ontario Planning Department
Monthly Activity Report—Actions
Month of: August 2015

- Promote safe and efficient pedestrian and traffic circulation systems, and ensure that new development will not overburden the capacity of existing streets, utilities, or community facilities and services; and
- Ensure that the costs of providing land for streets, alleys, pedestrian ways, easements, and other rights-of-way, and for the improvements necessary to serve new developments, are borne by subdividers and developers rather than by the taxpayers of the City.

The environmental impacts of this project were reviewed in conjunction with an Addendum to The Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008101140) and Mitigation Monitoring Program, certified by the City of Ontario City Council on January 27, 2010. This project introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). **City Initiated.** At its meeting on June 23, 2015 the Planning Commission unanimously voted 7-0 to recommend that the City Council approve the application. **Action: The City Council APPROVED the introduction of an ordinance approving the Development Code Amendment (File No. PDCA11-003).**

Development Advisory Board — August 17, 2015

Meeting Cancelled

Zoning Administrator — August 17, 2015

ENVIRONMENTAL ASSESSMENT AND CONDITIONAL USE PERMIT REVIEW FOR FILE NO. PCUP15-006: A Conditional Use Permit to establish an adult social rehabilitation residential facility within an existing 5 bedroom, 3,000 square foot residence, generally located north of the northwest corner of G Street and Euclid Ave, on 0.46 acres of developed land, within the C1 (Shopping Center Commercial) and EA (Euclid Avenue Overlay) zoning districts at 747 North Euclid Avenue, within the Euclid Avenue Historic District. The project is exempt from environmental review pursuant to State CEQA Guidelines Section 15301 (Existing Facilities). The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT. (APN: 1048-271-16); **submitted by Helping Hearts California, LLC.** Continued from the 8/3/2015 meeting.

Action: The Zoning Administrator APPROVED a decision approving File Nos. PDEV15-006, subject to departmental conditions of approval.

Monthly Activity Report—Actions

Month of: August 2015

ENVIRONMENTAL ASSESSMENT AND CONDITIONAL USE PERMIT REVIEW FOR FILE NO. PCUP15-008: A Conditional Use Permit to establish a beer manufacturing business (Strum Brewery) with a Type 23 ABC License (Small Beer Manufacturer), within an approximate 2,225 square-foot industrial building, located at 235 South Campus Street, within the M3 (General Industrial) zoning district. The project is exempt from environmental review pursuant to State CEQA Guidelines Section 15301 (Existing Facilities). The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT. (APN: 1049-111-06); **submitted by Strum Brewing Company.**

Action: The Zoning Administrator APPROVED a decision approving File Nos. PDEV15-008, subject to departmental conditions of approval.

City Council — August 18, 2015

No Planning Department Items Scheduled

Planning Commission — August 25, 2015

ENVIRONMENTAL ASSESSMENT AND ZONE CHANGE REVIEW FOR FILE NO. PZC15-001: A request to change the zoning on 3 parcels, totaling 1.4 acres, from R1 (Single Family Residential) to HDR-45 (High Density Residential) and to change 11 parcels, totaling 3.25 acres, from R2 (Medium Density Residential) to HDR-45 (High Density Residential), located on Fourth Street between Baker and Corona Avenues, from 1673 to 1733 East Fourth Street. Staff is recommending the adoption of an Addendum to the Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008101140) adopted by City Council on January 27, 2010 in conjunction with File No. PGPA06-001. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 0108-551-01, 06-09, 34-35, and 44-50); **submitted by Dayu Capital, Inc. and City initiated. City Council action is required.**

Action: The Planning Commission APPROVED resolutions recommending the City Council [1] approve an Addendum to The Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008101140), and [2] approve the proposed Zone Change (File No. PZC15-001) on 14 parcels, to the HDR-45 (High Density Residential) zoning district.

ENVIRONMENTAL ASSESSMENT, TENTATIVE PARCEL MAP, DEVELOPMENT PLAN, AND VARIANCE REVIEW FOR FILE NOS. PDEV15-001, PMTT15-001 (PM 19650) & PVAR15-001: A Tentative Parcel Map (File No. PMTT15-001 / PM 19650) to subdivide approximately 5.11 acres of land into 3 parcels, a Development Plan (File No. PDEV15-001) to construct 3 buildings totaling

Monthly Activity Report—Actions

Month of: August 2015

103,637 square feet on the proposed lots, and a Variance (**File No. PVAR15-001**) to deviate from the minimum Archibald Avenue setback, from 35 feet to 10 feet, located at the northeast corner of Archibald Avenue and Mission Boulevard, within the Business Park land use district of the Airport Business Park (Hofer Ranch) Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with an amendment to the Airport Business Park (Hofer Ranch) Specific Plan (File No. PSPA04-001), for which a Mitigated Negative Declaration was adopted by the City of Ontario City Council on June 7, 2005. This Application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP). (APNs: 0211-261-17); **submitted by Orbis Real Estate Partners, LLC.**

Action: The Planning Commission APPROVED resolutions recommending the City Council [1] approve an Addendum to The Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008101140), and [2] approve an ordinance approving the Development Code Amendment (File No. PDCA11-003), a comprehensive update to the City of Ontario Development Code.
