

ORDINANCE NO. 3262

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ONTARIO, CALIFORNIA, APPROVING FILE NO. PUD22-004, THE EUCLID WALNUT PLANNED UNIT DEVELOPMENT, ESTABLISHING DEVELOPMENT STANDARDS AND DESIGN GUIDELINES FOR A 10.6-ACRE PROJECT SITE GENERALLY LOCATED AT THE NORTHWEST CORNER OF EUCLID AVENUE AND WALNUT STREET, AND MAKING FINDINGS IN SUPPORT THEREOF — APNS: 1051-271-67, 1051-271-06, AND 1051-271-66.

WHEREAS, LEGACY/COLLIER RESIDENTIAL LLC (hereinafter referred to as "Applicant") has filed an Application for the approval of the Euclid Walnut Planned Unit Development ("PUD"), File No. PUD22-004, as described in the title of this Resolution (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 10.6 acres of land generally located at the northwest corner of Euclid Avenue and Walnut Street, within the Mixed Use – Neighborhood Hub 8e – Euclid and Walnut (MU-NH 8e) zoning district, as well as the Euclid Avenue (EA) Overlay district, and is presently improved with commercial development; and

WHEREAS, the properties to the north of the Project site are within the Medium-Density Residential (MDR-18) and the MU-NH 8e zoning districts, and the EA Overlay district, and are developed with multi-family residential units, single-family dwellings, and commercial land uses. The properties to the east are within the Neighborhood Commercial (CN) zoning and EA Overlay districts, and are developed with commercial land uses. The properties to the south are within the Low-Density Residential (LDR-5) zoning district and the EA Overlay district, and are developed with single-family dwellings. The properties to the west are within the MDR-18 zoning district, and are developed with multi-family residential units; and

WHEREAS, the Project was submitted in conjunction with a Development Plan (File No. PDEV22-027) to construct the first phase of development, and a Certificate of Appropriateness (File No. PHP22-015) to determine whether the Project site is an historic resource and facilitate said development; and

WHEREAS, the PUD establishes the development standards and design guidelines for the Project site to facilitate its two phases of development. Phase 1 is comprised of 9.4 acres of the PUD site (everything except for the existing Carl's Jr. drive-thru restaurant site) and will require the demolition of a combined 100,950 square feet of commercial/retail buildings and related site improvements. Phase 1 will be redeveloped with two four-story and six three-story buildings, providing a combined total of 346 dwelling units, 5,400 square feet of ground floor commercial space, associated on-site parking for both land uses, recreational amenities for the residential land use and landscaping. Phase 2 will finish implementation of the total build-out of the area within the PUD project by demolishing the Carl's Jr. restaurant building and related site

improvements and replacing them with additional vertical mixed-use development. Completion of the second phase would provide up to an additional 23 dwelling units, 6,600 square feet of ground-floor commercial space and the associated site improvements. Overall, the PUD will facilitate development of a maximum of 369 dwelling units and up to 12,000 square feet of commercial land uses; and

WHEREAS, the PUD outlines the Project's (a) objectives, including its consistency with The Ontario Plan 2050 and the EA Overlay district; (b) land use plan, including zoning, phasing and build-out, and permitted land uses; (c) development regulations, including intensity and density, building envelope, vehicle access and parking facilities, parking supply and design, residential open space and common amenities, service facilities, signs, landscape and hardscape, fences and walls, public right-of-way improvements, infrastructure, and overall development standards; (d) design criteria, including those for building orientation, access and parking facilities, service facilities, pedestrian linkages, architectural character, massing and scale, articulation and fenestration, architectural details, storefronts, materials and colors, roofs and rooftop equipment, non-residential outdoor dining areas, residential outdoor space and common recreation amenities, and landscape/hardscape elements; and (e) administration, including items not addressed in the PUD, requirements for Development Plans and other applications, and administrative exceptions; and

WHEREAS, Project approval is contingent on Planning Commission approval of the related Certificate of Appropriateness and Development Plan applications, and City Council approval of the Euclid Walnut PUD. Issuance of the Project's Building Permits is contingent upon approval of the related Lot Line Adjustment/Lot Merger application, pursuant to Engineering Department requirements and requests; and

WHEREAS, The Ontario Plan 2050 Supplemental Environmental Impact Report (State Clearinghouse No. 2021070364) was certified on August 16, 2022, (hereinafter referred to as "Certified SEIR"), in which development and use of the Project site was discussed; and

WHEREAS, the Planning Director of the City of Ontario prepared and approved for attachment to the Certified SEIR, an Addendum to the Certified SEIR (hereinafter referred to as "SEIR Addendum") in accordance with the requirements of the California Environmental Quality Act of 1970, together with State and local guidelines implementing said Act, all as amended to date (collectively referred to as "CEQA"); and

WHEREAS, the environmental impacts of this project were thoroughly analyzed in the SEIR Addendum, which concluded that implementation of the Project could result in a number of significant effects on the environment that were previously analyzed in the Certified SEIR, and that the Certified SEIR identified mitigation measures that would reduce each of those significant effects to a less-than-significant level; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act — Public Resources Code Section 21000 et seq. — (hereinafter referred to as "CEQA") and an SEIR Addendum has been prepared to determine possible environmental impacts; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the City Council the authority to review and act on the subject Application; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan 2050, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on August 22, 2023, the Planning Commission of the City of Ontario voted to continue the item to the September 26, 2023, hearing date; and

WHEREAS, as the first action on the Project, on September 26, 2023, the Planning Commission voted to issue Resolution No. PC23-074 recommending the City Council adopt the SEIR Addendum, finding that the proposed Project introduces no new significant environmental impacts and applying all previously adopted mitigation measures to the Project, which were incorporated by reference; and

WHEREAS, on September 26, 2023, the Planning Commission of the City of Ontario conducted a hearing to consider the Project, voting to issue Resolution No. PC23- 075 recommending the City Council approve the Application and concluded said hearing on that date; and

WHEREAS, on October 17, 2023, the City Council of the City of Ontario conducted a hearing to consider the Addendum and the Project, and concluded said hearing on that date; and

WHEREAS, as the first action on the Project, on October 17, 2023, the City Council approved a resolution adopting an Addendum to a previous Certified SEIR prepared pursuant to CEQA, the State CEQA Guidelines and the City of Ontario Local CEQA Guidelines, which indicated that all potential environmental impacts from the Project were less than significant or could be mitigated to a level of significance; and

WHEREAS, all legal prerequisites to the adoption of this Ordinance have occurred.

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED, AND ORDAINED by the City Council of the City of Ontario, as follows:

SECTION 1. *Environmental Determination and Findings.* As the decision-making body for the Project, the City Council has reviewed and considered the information contained in the previous Certified SEIR and supporting documentation. Based upon the facts and information contained in the previous Certified SEIR and supporting documentation, the City Council finds as follows:

(1) The environmental impacts of the Project were reviewed in conjunction with an Addendum to The Ontario Plan 2050 Supplemental Environmental Impact Report (State Clearinghouse No. 2021070364), certified by the Ontario City Council on August 16, 2022, in conjunction with File No. PGPA20-002.

(2) The Addendum and administrative record have been completed in compliance with CEQA, the State CEQA Guidelines, and the City of Ontario Local CEQA Guidelines; and

(3) The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. This Application introduces no new significant environmental impacts; and

(4) The Addendum contains a complete and accurate reporting of the environmental impacts associated with the Project, and reflects the independent judgment of the City Council; and

(5) There is no substantial evidence in the administrative record supporting a fair argument that the project may result in significant environmental impacts; and

(6) The proposed project will introduce no new significant environmental impacts beyond those previously analyzed in the Certified SEIR, and all mitigation measures previously adopted by the Certified SEIR, are incorporated herein by this reference.

SECTION 2. *Additional Environmental Review Not Required.* Based on the Addendum, all related information presented to the City Council, and the specific findings set forth in Section 1, above, the City Council finds that the preparation of a subsequent or supplemental Certified SEIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified SEIR that will require major revisions to the Certified SEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified SEIR was prepared, that will require major revisions to the Certified SEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified SEIR was certified/adopted, that shows any of the following:

(a) The project will have one or more significant effects not discussed in the Certified SEIR; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified SEIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified SEIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

SECTION 3. Airport Land Use Compatibility Plan ("ALUCP") Compliance.

The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan.

On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making body for the Project, the City Council has reviewed and considered the facts and information contained in the Application and supporting documentation against the ONT ALUCP compatibility factors, including [1] Safety Criteria (ONT ALUCP Table 2-2) and Safety Zones (ONT ALUCP Map 2-2), [2] Noise Criteria (ONT ALUCP Table 2-3) and Noise Impact Zones (ONT ALUCP Map 2-3), [3] Airspace protection Zones (ONT ALUCP Map 2-4), and [4] Overflight Notification Zones (ONT ALUCP Map 2-5). As a result, the City Council, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP; and

SECTION 4. *Housing Element Compliance.* Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making body for the Project, the City Council finds that based upon the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan 2050, as the project site is not one of the properties in the Housing Element Sites Inventory contained in Tables B-1 and B-2 of the Housing Element Technical Report.

SECTION 5. *Concluding Facts and Reasons.* Based upon the substantial evidence presented to the City Council during the above-referenced hearing, and upon the specific findings set forth in Section 1 through 4, above, the City Council hereby concludes as follows:

(1) ***The proposed PUD, or amendment thereto, is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The Project is consistent with the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan in that the mixed-use standards and guidelines specified in the PUD align with The Ontario Plan. Section 2.1 of the Euclid Walnut Planned Unit Development (“PUD”), titled “Consistency with The Ontario Plan”, describes how the PUD complies with the Policy Plan goals, policies, and plans.

(2) ***The proposed PUD, or amendment thereto, would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.*** The City Council has required certain safeguards through conditions of approval, which have been established to ensure that: [i] the purposes of the Planned Unit Development are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan.

(3) ***In the case of an application affecting specific property(ies), the proposed PUD, or amendment thereto, will not adversely affect the harmonious relationship with adjacent properties and land uses.*** While the PUD Project area is situated on the Euclid Avenue (EA) Overlay district, it is located 0.4-mile south of the locally- and nationally-recognized landmark and historic cultural landscape corridor, and 3 miles south of the City’s Downtown Historic District; therefore, the Project is outside of and does not contain any historic resources. The adjacent neighborhood consists of existing single- and multiple-family dwellings and commercial development, which also do not qualify as historic resources. The PUD has ensured that on-site development is sensitive to and complementary of the surrounding development, and the surrounding development is compatible with the proposed residential and commercial mixed-use development. Therefore, the Project does not affect the harmonious relationship with adjacent properties and land uses.

(4) ***In the case of an application affecting specific property(ies), the subject site is physically suitable, including, but not limited to, parcel size, shape, access, and availability of utilities, for the request and anticipated development.*** In preparing the PUD, a thorough review and analysis of the proposed Project and the subject site's physical suitability for the Project was completed, including analysis of the Project size and shape, intensity of development, building height and setbacks, site access, site landscaping and drainage, fences and walls, vehicle and pedestrian circulation, availability of mass transit, necessary street dedication and easements, public right-of-way improvements, availability of utilities and other infrastructure needs, off-street parking, building orientation and streetscapes, architectural character, building materials and character, and site signage. Based upon this review and analysis, the subject site has been deemed physically suitable, including but not limited to parcel size, shape, access, and availability of utilities for the proposed PUD and proposed development.

(5) ***The proposed PUD is superior to that which could be obtained through the application of the Development Code or a specific plan.*** The PUD will establish minimum building setbacks, parking and open space requirements, private storage provisions, a planting palette, allowable land uses preferable to support the proposed development and the surrounding community, and more. These standards will facilitate the development of up to 369 dwelling units and 12,000 square feet of commercial space and accompanying improvements. The proposed PUD will allow for subsequent development that is superior to that which could be obtained through the application of the Development Code by itself, by means of facilitating the development of high-density apartments, restaurants, retail shops, and other commercial services that will serve to achieve the City's goals of economic revitalization and aesthetic enhancements along an underutilized portion of the Euclid Avenue corridor. Lastly, the PUD will further serve to implement the vision of the EA Overlay district, the Mixed Use – Neighborhood Hub 8e – Euclid and Walnut (MU-NH 8e) zoning district, and the Mixed Use - Neighborhood Activity Hub: 20.0 to 75.0 du/ac; 1.0 FAR office/retail (MU-NH) land use district of the Policy Plan by allowing for this vibrant and well-designed mixed-use development.

SECTION 6. City Council Action. Based upon the findings and conclusions set forth in Sections 1 through 5, above, the City Council hereby APPROVES the herein described Euclid Walnut Planned Unit Development, attached hereto as "Attachment A," and subject to the Project conditions of approval, attached hereto as "Attachment B," and incorporated herein by this reference.

SECTION 7. Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

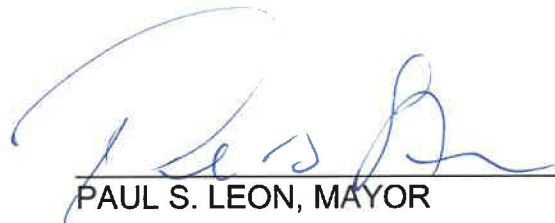
SECTION 8. Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario.

SECTION 9. Severability. If any section, sentence, clause or phrase of this Ordinance or the application thereof to any entity, person or circumstance is held for any reason to be invalid or unconstitutional, such invalidity or unconstitutionality shall not affect other provisions or applications of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are severable. The People of the City of Ontario hereby declare that they would have adopted this Ordinance and each section, sentence, clause or phrase thereof, irrespective of the fact that any one or more section, subsections, sentences, clauses or phrases be declared invalid or unconstitutional.

SECTION 10. Effective Date. This Ordinance shall become effective 30 days following its adoption.

SECTION 11. Publication and Posting. The Mayor shall sign this Ordinance and the City Clerk shall certify as to the adoption and shall cause a summary thereof to be published at least once, in a newspaper of general circulation in the City of Ontario, California within 15 days following the adoption. The City Clerk shall post a certified copy of this ordinance, including the vote for and against the same, in the Office of the City Clerk, in accordance with Government Code Section 36933.

PASSED, APPROVED, AND ADOPTED this 7th day of November 2023.



PAUL S. LEON, MAYOR

ATTEST:



SHEILA MAUTZ, CITY CLERK

APPROVED AS TO FORM:



BEST BEST & KRIEGER LLP
CITY ATTORNEY

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF ONTARIO)

I, SHEILA MAUTZ, City Clerk of the City of Ontario, DO HEREBY CERTIFY that foregoing Ordinance No. 3262 was duly introduced at a regular meeting of the City Council of the City of Ontario held October 17, 2023 and adopted at the regular meeting held November 7, 2023, by the following roll call vote, to wit:

AYES:	MAYOR/COUNCIL MEMBERS:	LEON, DORST-PORADA, WAPNER, BOWMAN AND VALENCIA
NOES:	COUNCIL MEMBERS:	NONE
ABSENT:	COUNCIL MEMBERS:	NONE



SHEILA MAUTZ, CITY CLERK

(SEAL)

I hereby certify that the foregoing is the original of Ordinance No. 3262 duly passed and adopted by the Ontario City Council at their regular meeting held November 7, 2023, and that Summaries of the Ordinance were published on October 24, 2023 and November 14, 2023, in the Inland Valley Daily Bulletin newspaper.



SHEILA MAUTZ, CITY CLERK

(SEAL)

ATTACHMENT A:

**File No. PUD22-004;
Euclid Walnut Planned Unit Development**

(Document follows this page)

City of Ontario
PUD 22-004

EUCLID WALNUT

PLANNED UNIT DEVELOPMENT

A Project by Legacy Partners



EUCLID/WALNUT

PLANNED UNIT DEVELOPMENT

City of Ontario
PUD 22-004
City Council Approval Date - TBD
City Council Ordinance No. TBD



303 E. B Street
Ontario, CA 91764
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Applicant:

Legacy Partners
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1

INTRODUCTION

The Euclid/Walnut Planned Unit Development (PUD) functions as a set of planning and design principles, development regulations, and performance standards to guide and govern the redevelopment of a commercial shopping center into a mixed-use development. The project site comprises three parcels located on the northwest corner of Euclid Avenue and Walnut Street, as shown on Exhibit 1-1: PUD Location Map. This PUD will facilitate development of high-density apartments, restaurants, retail shops, and other commercial services that will achieve the City's goals to economically revitalize and aesthetically enhance an underutilized parcel on the Euclid Avenue corridor.

Exhibit 1-1: PUD Location Map



This document is organized to fulfill the requirements for a PUD, as set forth in the Ontario Development Code (ODC). The Euclid/Walnut PUD replaces the existing zoning district designation and ODC regulations applicable to the affected properties. The properties also lie within the “EA - Euclid Avenue Overlay” district. Any applicable requirements of the overlay district shall remain in full force and effect. Unless otherwise defined or stated herein, definitions and interpretations contained in the ODC shall apply. City staff and private developers will rely on this PUD to determine whether precise plans for development (“Development Plans”) adequately meet the City’s land use and design objectives of The Ontario Plan (TOP) 2050.

2

OBJECTIVES

2.1 CONSISTENCY WITH THE ONTARIO PLAN

The Ontario Plan (TOP), the City's comprehensive plan, has undergone a significant update to shape the Ontario community through 2050. TOP 2050 has three policy level components: the Vision, a Governance Manual, and the Policy Plan (General Plan).

The Ontario Vision - adopted by the City Council envisioning "A sustained, community-wide prosperity which continuously adds value and yields benefits." Value is comprehensive in this regard and is expressed in land, revenues, infrastructure, businesses, education, employment, health, community services, recreation, etc. In particular, Ontario is committed to being "A Premier Community by Design." One of the foundations to accomplish this is described in the Vision as ensuring that development is "distinctive." The Euclid/Walnut PUD helps the City realize specific "Points of Vision" as outlined for "Distinctive Development" as follows:

- A system of vibrant retail, town, and neighborhood centers responsive to market demands and woven into the fabric of the community.
- A demonstrated ability to attract housing in pursuit of our acknowledged responsibility to balance housing with the job growth that drives our quality of life.
- Superior quality and design of the built environment and open spaces through careful attention to detail at every scale, including public and private spaces and structures.

The Governance Manual - institutionalizes Ontario's approach to governance and provides a business plan for the City. Ontario believes the City has the obligation to create, maintain, and grow economic value. The Manual guides the City's leadership and ensures that TOP 2050 is integrated into daily operations and provides for effective administration. The Euclid/Walnut PUD is established in conformance with the City's requirements and includes an administrative section consistent with provisions contained in the ODC for consideration of "Development Plans."

The Policy Plan (General Plan) - includes the Land Use Element, which designates the subject parcels within the Euclid/Walnut PUD as "MU - Mixed Use." Generally, these properties are developed with a mix of uses

that, when concentrated, create focal points for community activity and facilitate walking, biking, and transit use. The MU - Mixed Use land use category accommodates a horizontal and/or vertical mix of retail, service, office, restaurant, entertainment, cultural, and residential uses. The densities and intensities of the MU - Mixed Use designation represent the intended level of anticipated development; however, individual projects may vary depending upon an approved master plan, such as a specific plan or planned unit development.

Within the Land Use Element, the MU - Mixed Use designation is broken down into unique sub-categories to further refine the type of mixed-use development desired by the City. The parcels comprising the Euclid/Walnut PUD are part of a sub-area categorized as MU-NH - Mixed Use Neighborhood Activity Hub. This specific designation envisions low-rise (three to five stories) buildings, with a mix of retail and residential uses that will create identity and place, and serve surrounding residents. This category allows for residential densities ranging from 20 to 75 dwelling units per acre and non-residential intensity of 1.00 floor area ratio (FAR). Five locations within the City have the MU-NH land use designation. The Future Build-out Projections Table of the Land Use Element provides details for each of these five MU-NH sub-areas. The build-out of the 16-acre "MU-NH (Euclid & Walnut)" sub-area is projected to be 369 dwelling units and 142,840 square feet of non-residential development.

This PUD regulates the redevelopment of 10.6 acres of this sub-area to create a mixed-use project providing a total of 369 dwelling units and 12,000 non-residential square feet. The other 5.4 acres of the sub-area is located north of the PUD boundary and currently developed with 15 single family dwelling units, and approximately 28,000 square feet of non-residential development. There is a nominal increase to the total build-out projection for the number of residential dwelling units within this sub-area resulting from the combination of existing to remain and construction of new within the boundaries of this PUD. However,

it is offset by a significant reduction in the build-out of non-residential square footage should the existing uses/buildings remain unchanged on the 5.4-acre portion. Implementation of this PUD would still allow for redevelopment of the 5.4 acre portion of the sub-area of up to 130,000 of non-residential square footage, consistent with the TOP 2050 build-out projections for this sub-area.

In addition to the requirements of the Land Use Element, all mixed-use development is subject to specific "Place Types" as defined in the Community Design Element, which represent the intended outcome and character for each area. The Euclid/Walnut PUD falls within Place Type 8 (a-e). Properties with this Place Type are considered "Neighborhood Center - Infill" development where commercial and residential parcels were largely developed in an incremental manner prior to 2020. The Community Design Element acknowledges that many properties in this Place Type range in size, complexity, and relationships with surrounding streets and neighborhoods, and that redevelopment

could result in horizontal or vertical mixed use. However, all of these centers are envisioned to incorporate site design that prioritizes safe, attractive, and well-shaded pedestrian access on site, from the public rights-of-way, and from the adjacent neighborhoods.

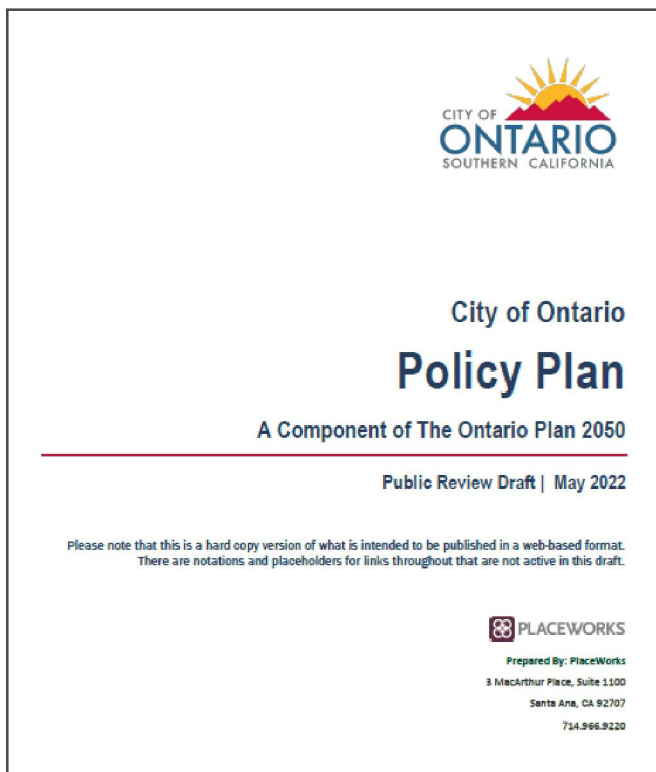
Implementation of the Euclid/Walnut PUD will achieve many City goals and policies outlined in The Policy Plan (General Plan). Those specific goals and polices are as follows.

Land Use Element

Goal LU-1 Balance

A community that has a spectrum of housing types and price ranges that match the jobs in the City and that make it possible for people to live and work in Ontario and maintain a quality of life.

- **LU-1.1 Strategic Growth.** We concentrate growth in strategic locations that help create place and identity, maximize available and planned infrastructure, foster the development of transit, and support the expansion of the active and multimodal transportation networks throughout the City.
- **LU-1.5 Jobs-Housing Balance.** We coordinate land use, infrastructure, and transportation planning and analysis with regional, county, and other local agencies to further regional and subregional goals for jobs-housing balance.
- **LU-1.6 Complete Community.** We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers, and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario.



Goal LU-2 Compatibility

Compatibility between a wide range of uses and resultant urban patterns and forms.

- **LU-2.1 Land Use Decisions.** We minimize adverse impacts on adjacent properties when considering land use and zoning requests.
- **LU-2.2 Buffers.** We require new uses to provide mitigation or buffers between existing uses where potential adverse impacts could occur. Additional mitigation is required when new uses could negatively impact environmental justice areas.

Goal LU-4 Phased Growth

Development that provides short-term value only when the opportunity to achieve our Vision can be preserved.

- **LU-4.2 Interim Development.** We allow development in urban, mixed use, and transit-oriented Place Types that is not immediately reflective of our ultimate Vision for the Place Type, provided it can be modified or replaced when circumstances are right to support development aligned with the Place Type Vision. We will not allow development that impedes, precludes, or compromises our ability to achieve our Vision.
- **LU-4.3 Infrastructure Timing.** We require that the necessary infrastructure and services be in place prior to or concurrently with development.
- **LU-4.4 Shared Infrastructure.** We encourage and facilitate the use of shared infrastructure (including shared or managed parking) in urban, mixed use, and transit-oriented Place Types.

Housing Element

Goal H-2 Housing Supply & Diversity

Diversity of types of quality housing that are affordable to a range of household income levels, accommodate changing demographics, and support and reinforce the economic sustainability of Ontario.

- **H-2.1 Corridor Housing.** We revitalize transportation corridors by encouraging the production of higher density residential and mixed-uses that are architecturally, functionally, and aesthetically suited to corridors.

- **H-2.5 Housing Design.** We require architectural excellence through adherence to City design guidelines, thoughtful site planning, environmentally sustainable practices, and other best practices.
- **H-2.6 Infill Development.** We support the revitalization of neighborhoods through the construction of higher-density residential developments on underutilized residential and commercial sites.

Goal H-3 Governmental Regulations

A City regulatory environment that balances the need for creativity and excellence in residential design, flexibility and predictability in the project approval process, and the provision of an adequate supply and prices of housing.

- **H-3.2 Flexible Standards.** We allow flexibility in the application of residential and mixed-use development standards in order to gain benefits such as exceptional design quality, economic advantages, sustainability, or other benefits that would otherwise be unrealized.

Environmental Resources Element

Goal ER-1 Water & Wastewater

A reliable and cost-effective system that permits the City to manage its diverse water resources and needs.

- **ER-1.4 Supply-Demand Balance.** We require that available water supply and demands be balanced.
- **ER-1.6 Urban Run-off Quantity.** We encourage the use of low impact development strategies, including green infrastructure, to intercept run-off, slow the discharge rate, increase infiltration, and ultimately reduce discharge volumes to traditional storm drain systems.
- **ER-1.7 Urban Run-off Quality.** We require the control and management of urban run-off, consistent with Regional Water Quality Control Board regulations.
- **ER-1.8 Wastewater Management.** We require the management of wastewater discharge and collection consistent with waste discharge requirements adopted by the Regional Water

Quality Control Board.

Goal ER-3 Energy

Cost-effective and reliable energy system sustained through a combination of low impact buildings, site and neighborhood energy conservation, and diverse sources of energy generation that collectively helps to minimize the region's carbon footprint.

- **ER-3.3 Building and Site Design.** We require new construction to incorporate energy efficient building and site design strategies, which could include appropriate solar orientation, maximum use of natural daylight, passive solar, and natural ventilation.

Goal ER-4 Air Quality

Improved indoor and outdoor air quality and reduced locally generated pollutant emissions.

- **ER-4.1 Land Use.** We reduce GHG and other local pollutant emissions through compact, mixed use, and transit-oriented development and development that improves the regional jobs-housing balance.

Community Economics Element

Goal CE-1 Complete Community

A complete community that provides for all incomes and stages of life.

- **CE-1.6 Diversity of Housing.** We collaborate with residents, housing providers, and the development community to provide housing opportunities for every stage of life; we plan for a variety of housing types and price points to encourage the development of housing supportive of our efforts to attract business in growing sectors of the community while being respectful of existing viable uses.
- **CE-1.7 Retail Goods and Services.** We seek to ensure a mix of retail businesses that provide the full continuum of goods and services for the community.

Goal CE-2 Placemaking

A City of distinctive neighborhoods, districts,

corridors, and centers where people choose to be.

- **CE-2.1 Development Projects.** We require new development and redevelopment to create unique, high-quality places that add value to the community.
- **CE-2.2 Development Review.** We require those proposing new development and redevelopment to demonstrate how their projects will create appropriately unique, functional, and sustainable places that will compete well with their competition within the region.

Safety Element

Goal S-1 Seismic & Geologic Hazards

Minimized risk of injury, loss of life, property damage, and economic and social disruption caused by earthquake-induced and other geologic hazards.

- **S-1.1 Implementation of Regulations and Standards.** We require that all new habitable structures be designed in accordance with the most recent California Building Code adopted by the City, including provisions regarding lateral forces and grading.
- **S-1.2 Entitlement and Permitting Process.** We follow state guidelines and the California Building Code to determine when development proposals must conduct geotechnical and geological investigations.

Goal S-2 Flood Hazards

Minimized risk of injury, loss of life, property damage and economic and social disruption caused by flooding and inundation hazards.

- **S-2.5 Stormwater Management.** We maintain the storm drain system to convey a 100-year storm, when feasible, and encourage environmental site design practices to minimize flooding and increase groundwater recharge, including natural drainage, green infrastructure, and permeable ground surfaces.

Goal S-3 Fire & Rescue Hazards

Reduced risk of death, injury, property damage and economic loss due to fires, accidents and normal everyday occurrences through prompt

and capable emergency response.

- **S-3.1 Prevention Services.** We proactively mitigate or reduce the negative effects of fire, hazardous materials release, and structural collapse by implementing the regularly adopted California Fire Code and California Building Code.
- **S-3.8 Fire Prevention through Environmental Design.** We require new development to incorporate fire prevention consideration in the design of streetscapes, sites, open spaces, and buildings.

Goal S-4 Noise Hazards

An environment where noise does not adversely affect the public's health, safety, and welfare.

- **S-4.1 Noise Mitigation.** We utilize the City's Noise Ordinance, building codes, and subdivision and development codes to mitigate noise impacts.

Goal S-5 Wind-Related Hazards

Minimize the risk of injury, property damage, and economic loss resulting from windstorms and wind-related hazards.

- **S-5.1 Dust Control Measures.** We require the implementation of Best Management Practices for dust control at all excavation and grading projects.

Goal S-7 Law Enforcement

Residential neighborhoods, commercial areas, and industrial districts that are kept safe through a multi-faceted approach of prevention, suppression, and community involvement in public safety.

- **S-7.4 Crime Prevention through Environmental Design (CPTED).** We require new development to incorporate CPTED in the design of streetscapes, sites, open spaces, and buildings.

Community Design Element

Goal CD-1 Image & Identity

A dynamic, progressive city containing distinct and complete places that foster a positive sense of identity and belonging among residents, visitors, and businesses.

- **CD-1.2 Place Types.** We establish Place Types in urban, mixed use, and transit-oriented areas to foster the City's identity as a premier community and require new development within each Place Type to incorporate prescribed urban patterns, forms, and placemaking priorities.

Goal CD-2 Design Quality

A high level of design quality resulting in neighborhoods, commercial areas, public spaces, parks, and streetscapes that are attractive, safe, functional, human- scale, and distinct.

- **CD-2.1 Quality Building Design and Architecture.** We encourage all development projects to convey visual interest and character through:
 1. Building volume, massing, and height to provide context-appropriate scale and proportion;
 2. A true architectural style which is carried out in plan, section, and elevation through all aspects of the building and site design and appropriate for its setting; and
 3. Exterior building materials that are articulated, high quality, durable, and appropriate for the architectural style.
- **CD-2.4 Urban, Mixed Use, and Transit-oriented Areas.** We establish Place Types to require mixed use, urban, and transit-oriented areas to be designed and developed as pedestrian oriented areas that are integrated with adjacent neighborhoods and promote a vibrant, comfortable, and functional environment, as defined for each Place Type.
- **CD-2.7 Sustainability.** We collaborate with the development community to design and build neighborhoods, streetscapes, sites, outdoor spaces, landscaping, and buildings to reduce energy demand through solar orientation, maximum use of natural daylight, passive solar and natural ventilation, building form, mechanical and structural systems, building materials, and construction techniques.

- **CD-2.8 Safe Design.** We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding physically and visually isolated spaces, maintaining visibility and accessibility, and using lighting.
- **CD-2.9 Landscape Design.** We encourage durable, sustainable, and drought-tolerant landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.
- **CD-2.13 Entitlement Process.** We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

Goal CD-3 Urban, Mixed Use, and Transit-Oriented Place Types

Vibrant urban environments that are organized around intense buildings, pedestrian and transit areas, public plazas, and linkages between and within developments that are conveniently located, visually appealing and safe during all hours.

- **CD-3.1 Unique Identity.** We promote development that heightens the unique character and identity of each Place Type by requiring compatible land uses and land planning, site design, and building design that promotes an active public realm.
- **CD-3.4 Context-Aware and Appropriate Design.** We require appropriate building and site design that complements existing development, respects the intent and identity of the Place Type, and provides appropriate transitions and connections between adjacent uses to ensure compatibility of scale, maintain an appropriate level of privacy for each use, and minimize potential conflicts.
- **CD-3.5 Active Frontages.** We create lively pedestrian streetscapes by requiring primary building, business, and residential entrances, outdoor dining, and storefronts be located on ground floors adjacent to sidewalks or public spaces and designed to maximize

CD-3.1 Unique Identity



CD-3.4 Context Aware and Appropriate Building Design



CD-3.5 Active Frontages



CD-3.6 Managed Infrastructure



2.2 EUCLID AVENUE (EA) OVERLAY DISTRICT AND HISTORIC RESOURCES

The EA Overlay zoning district was established to recognize, protect, and enhance the visual character and quality of Euclid Avenue as a major scenic and historic resource in Ontario as well as its position on the National Register of Historic Places. Properties located within the EA require approval of a Certificate of Appropriateness to ensure no adverse impacts to designated historic resources occur as a result of new development and buildings. This PUD includes design criteria within Chapter 5 for site and building design that strengthen the overall character of Euclid Avenue.

The public right-of-way of Euclid Avenue from Philadelphia Street northward to the Interstate 10 was designated as Local Landmark No. 67 on January 16, 2001 by the Ontario City Council. On August 10, 2005, the public right-of-way of Euclid Avenue from Philadelphia Street in Ontario northward to 24th Street in Upland was listed on the National Register of Historic Places as a significant cultural landscape. One contributing

character defining-feature of the right-of way is the 60-foot-wide median separating the north/southbound vehicular lanes of Euclid Avenue. This PUD does not propose to alter or affect this character-defining feature.

Although the parcels within this PUD have Euclid Avenue frontage, the location of this PUD is separated from the southern boundary (Philadelphia Street) of this Local Landmark/National Register of Historic Places designation by a distance of approximately 0.4 miles. The extended view of the Euclid Avenue corridor, when viewed northward from the parcels or southward towards the parcels of this PUD, is also visually disrupted within the immediate foreground view as a result of the Pomona Freeway (SR-60), which is elevated above Euclid Avenue. Additionally, this PUD is separated from the closest boundary of an historic district, the Downtown Historic District, by a distance of approximately three miles. Based upon the City's Historic Preservation records, there are no potential or proposed historic resources within the immediate surrounding area of the parcels within this PUD.



Historic Euclid Avenue

2.3 EUCLID / WALNUT PUD OBJECTIVES

The Euclid/Walnut PUD establishes a set of planning and design principles, development regulations, and performance standards to guide and govern the development of a defined project site. This PUD will facilitate redevelopment of the project site with structures and related improvements that support residential and non-residential land uses within the same project site. In addition to facilitating achievement of many City goals and policies as outlined herein, this PUD has the following objectives:

- Develop and provide new, high-quality rental housing combined with a mixed-use component.
- Provide transition between new mixed-use development and surrounding residential neighborhoods and commercial properties.
- Provide areas of private and passive open space for each residential unit, as well as community gathering and active open spaces.
- Promote development that is consistent with the MU-NH - Mixed Use Neighborhood Activity Hub land use designation.
- Promote revitalization of commercial uses on the project site by establishing new ground-floor retail and similar uses that serve on-site residents and those in surrounding neighborhoods.
- Provide outdoor gathering places adjacent to commercial storefronts, such as outdoor patio or bench seating with inviting/attractive landscape elements.
- Orient non-residential, ground-floor uses towards Euclid Avenue.
- Incorporate site design solutions to allow for phased development.
- Satisfy the build-out projections for residential dwelling units within the MU-NH (Euclid-Walnut) sub-area, as defined in TOP 2050.



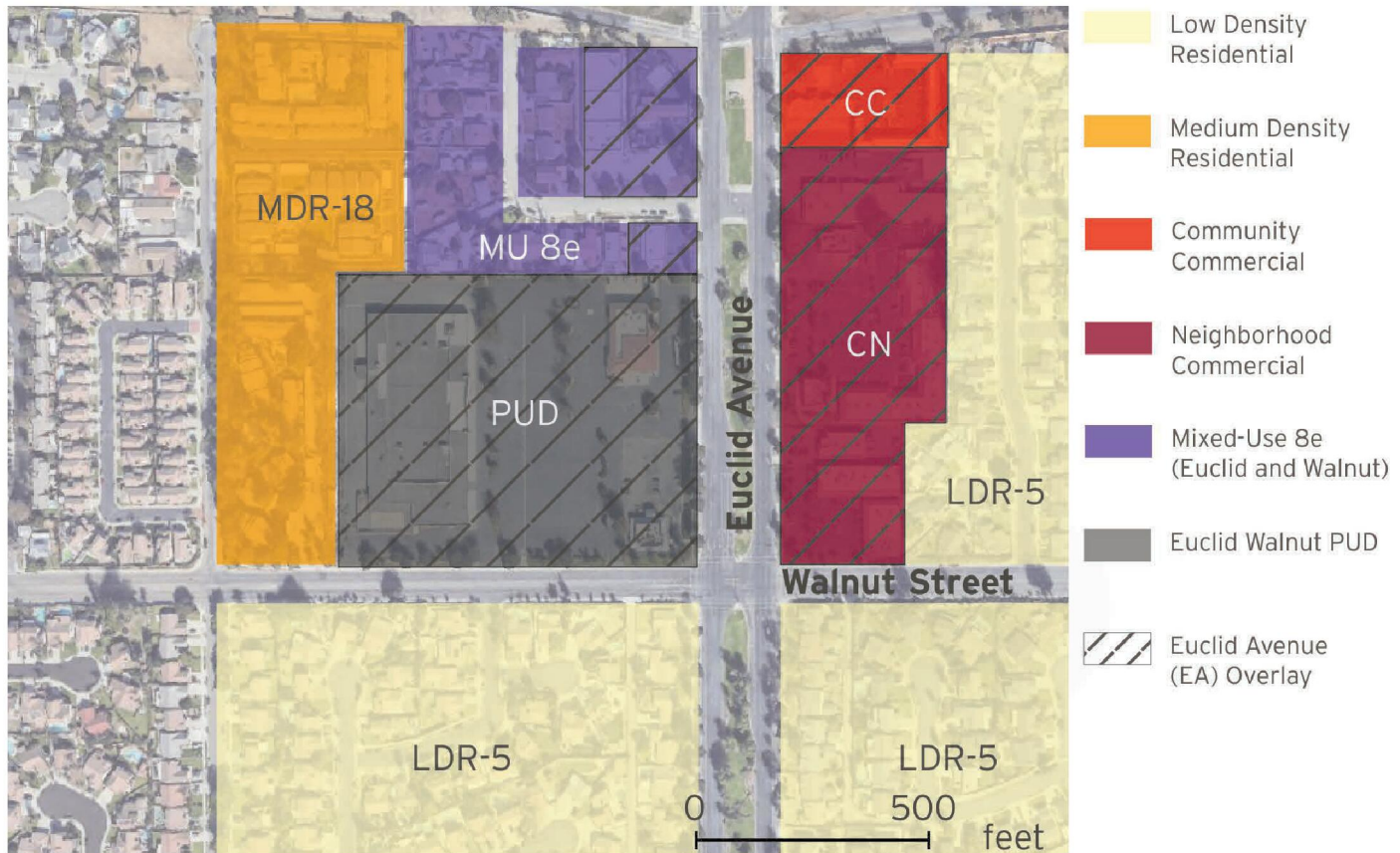
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LAND USE PLAN

3.1 LAND USE AND ZONING

The Euclid/Walnut PUD applies to the parcels shown on Exhibit 3-1: Land Use/Zoning Map. The map establishes a single zoning district of PUD - Planned Unit Development providing for a mix of commercial and residential uses consistent with TOP 2050 MU-NH land use designation. This PUD allows both horizontal and vertical mixed-use development in buildings of three and four stories. Buildings with direct Euclid Avenue frontage will contain ground-floor commercial uses and residential units directly above. All other buildings will contain residential units on all floor levels. A combination of garages, tandem spaces, carports, and surface parking spaces will be provided, with gated access limited to residents and residents' guests. Unrestricted access to surface-level parking will serve the commercial uses and provide additional resident guest parking spaces. Residents will enjoy a low-maintenance, urban lifestyle with conveniently located shopping, dining, and personal service businesses in combination with convenient access to established transportation routes and employment hubs.

Exhibit 3-1: Land Use/Zoning Map



3.2 PHASING AND BUILDING OUT

Implementation of the land use plan and the build-out allowable under this PUD will be achieved through two redevelopment phases. Exhibit 3-2: Phase 1 Conceptual Site Plan illustrates the development plan for the initial phase.

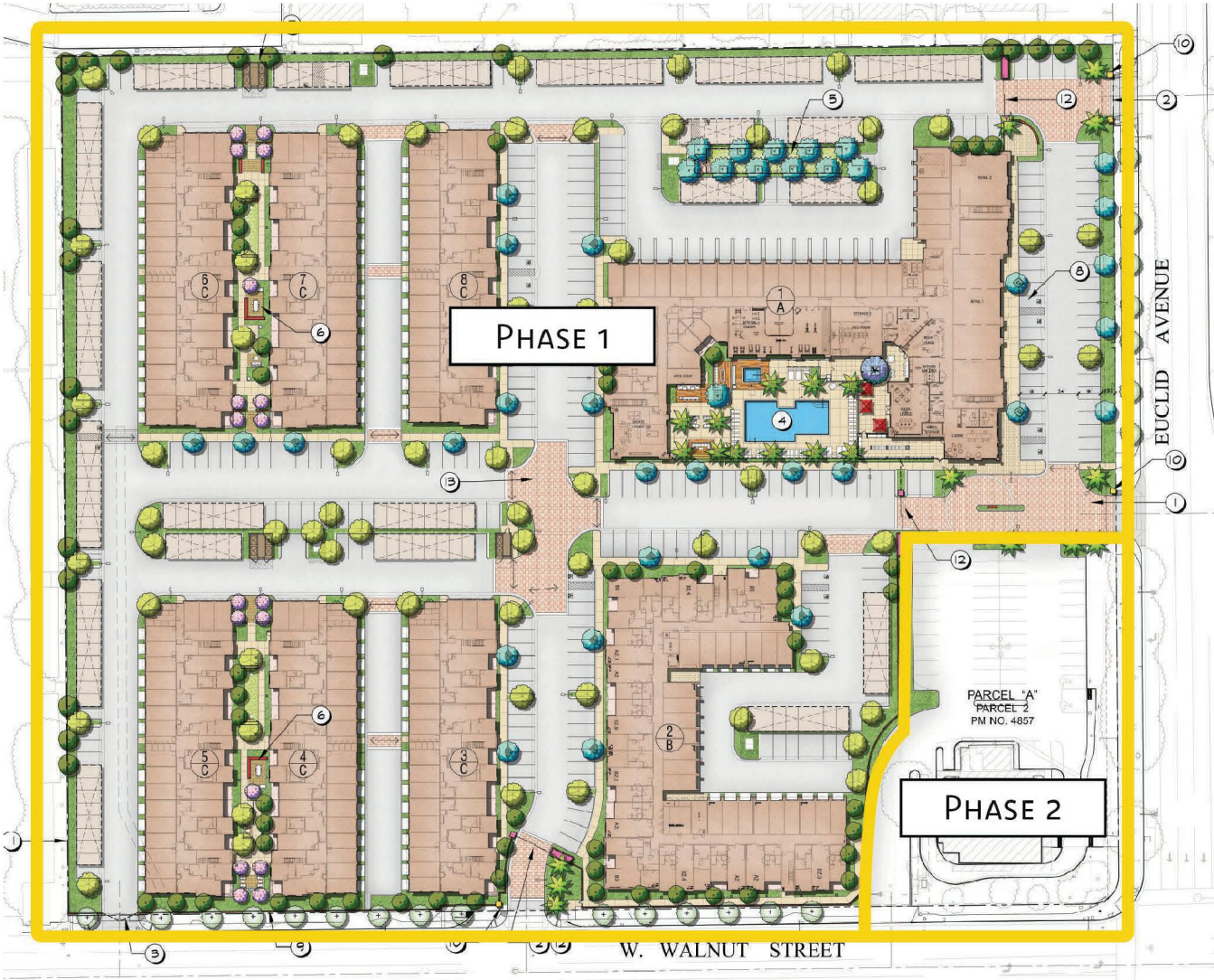
The first phase will retain the fast-food, drive-through restaurant use, occupying an approximately 4,100-square-foot building and its related site improvements. The remaining area within the boundaries of this PUD will be developed with two four-story buildings and six three-story buildings, providing a combined total of 346 dwelling units, 5,400 square feet of ground-floor commercial space, associated on-site parking areas for both residential and non-residential land uses, and landscaping and recreational amenities for residents¹.

The second phase will implement the full build-out of the PUD area with demolition of the restaurant and related site improvements; replacing them with an additional mixed-use, four-story building. Completion of the second phase will provide up to an additional 23 dwelling units and up to an additional 6,600 square feet of ground-floor commercial space, plus associated site improvements.

This PUD, inclusive of all development standards and requirements, applies to both phases. Ultimate build-out will result in a maximum of 369 dwelling units and approximately 12,000 square feet of commercial land uses.

1. Demolition of approximately 100,950 square feet of older commercial buildings will occur before project construction proceeds.

Exhibit 3-2: Phase 1 Conceptual Site Plan



3.3 PERMITTED USES

Table 3-1: Permitted Uses lists the allowable land use, activity, or facility permitted within this PUD. A land use that is not listed shall be considered a prohibited land use unless otherwise allowed by the Zoning Administrator in accordance with the requirements and procedures outlined in the ODC. The land uses established in this table are consistent with those listed uses and land use definitions of the ODC. The ODC relies upon the North American Industry Classification System (NAICS) for non-residential land uses, utilizing the NAICS website definitions for each business establishment classification. The “Notes or ODC Regulations” column provides reference to the location of any specific regulations, operating conditions, and/or development standards applicable to the corresponding land use, activity, or facility; as well as exception to any standards or requirement as modified within this PUD. The “Permit Type” column symbols shall have the same meaning and utilize the same permit type, process, and approvals as contained in the ODC.

TABLE 3-1: PERMITTED USES		
LAND USES, ACTIVITIES, AND FACILITIES	PERMIT TYPE “P” – PERMITTED BY RIGHT “C” – CONDITIONAL USE PERMIT “A” – ADMINISTRATIVE USE PERMIT	NOTES OR ODC REGULATIONS
RESIDENTIAL		
Accessory Dwelling Units	P	ODC Section 5.03.010
Animal Keeping (accessory) Household Pets - 4 or fewer pets	P	
Community Gardens (accessory)	A	ODC Section 5.03.410
Home Occupation (accessory)	A	ODC Section 5.03.240
Multiple-Family Dwellings	P	
MIXED USES		
Residential Mixed-Use Developments	P	ODC Section 5.03.285
NON-RESIDENTIAL USES – LIMITED TO GROUND FLOOR AND EUCLID AVENUE FRONTAGE		
Alcoholic Beverage Sales (off-premise)	C	ODC Section 5.03.025
Art Dealer	P	
Clothing, Shoes and Jewelry Store	P	
Consignment Shop	P	
Convenience Store	P	
Document Preparation Services	P	
Drycleaning and Laundry Services - Limited to Drop-off and Pick-up	P	Drive-thru prohibited
Electronics and Appliance Store	P	ODC Section 5.03.175
Finance and Insurance Services	P	Check Cashing, Advanced Payday, and Pawnshops prohibited

TABLE 3-1: PERMITTED USES		
LAND USES, ACTIVITIES, AND FACILITIES	PERMIT TYPE “P” – PERMITTED BY RIGHT “C” – CONDITIONAL USE PERMIT “A” – ADMINISTRATIVE USE PERMIT	NOTES OR ODC REGULATIONS
Florist	P	
Furniture and Home Furnishings Store	P	ODC Section 5.03.210
General Merchandise Store	P	
Health and Personal Care Store	P	
Investigative and Security Services	P	
Office Administrative Support Services	P	
Office Supplies, Stationary and Gift Store	P	
Personal and Household Goods Repair	P	
Personal Care Services With Massage Services	P A	ODC Section 5.03.270
Personal Fitness Training Studio	P	Limited to 10,000 sq. ft.
Pet Supply Store	P	Animal Sales prohibited
Pharmacies and Drug Store	P	Drive-thru prohibited
Police Storefront/Community Services	P	
Private Mail Centers and Postal Supply	P	
Professional and Technical Services	P	Limited to non-medical
Real Estate, Rental, and Leasing Services	P	
Restaurants, Fast Food With Drive-Thru	P P	ODC Section 5.03.150
Restaurants, Limited Service With Alcoholic Beverage Sales With Live Entertainment	P C C	ODC Section 5.03.025 ODC Section 5.03.257
Restaurants, Snack and Nonalcoholic Beverage Bar	P	
Specialty Food and/or Beverage Store With Alcoholic Beverage Sales	P C	ODC Section 5.03.025
Sporting Goods, Hobby, Book, and Music Store	P	
Supermarket and Grocery Store	P	
Travel Arrangement Services	P	

4

DEVELOPMENT REGULATIONS

This section sets forth standards that govern the placement, height, and bulk of permitted buildings and other structures; establishes locational criteria for vehicular access to development sites; establishes parking and loading requirements; and specifies minimum requirements for recreational amenities for residential uses. Unless otherwise modified herein, development within this PUD shall comply with the ODC standards and requirements as may apply generally to Multiple-Family Dwellings and Commercial development, as determined appropriate by the Director. Table 4-1: Summary of Development Standards provides an at-a-glance reference to the regulations for the various standards, and is to be used in combination with the descriptions and specific criteria listed for each of the standards.

4.1 INTENSITY

The intensity of non-residential development shall not exceed a maximum 0.5 floor area ratio (FAR) based upon the net site area. The calculation shall be derived by dividing the gross square footage of the commercial space of the vertical mixed use buildings by the net site area. In determining FAR, this square footage should not include indoor common amenity space or other interior square footage serving the residential land uses.

4.2 DENSITY

The density of residential development shall not exceed a maximum 40 dwelling units per acre based upon the net site area. In no case shall the total number of residential units exceed 369 units upon build-out of Phase 2.

4.3 BUILDING ENVELOPE

- a. Non-residential land uses shall be on the ground-floor level of vertical mixed-use buildings.
- b. Residential dwelling units may be located on any floor level.
- c. The height of four-story buildings shall not exceed 60 feet. The height of three-story buildings shall not exceed 50 feet. Height shall be measured as specified in the ODC and is inclusive of architectural projections.
- d. Any rooftop mechanical venting or communications equipment shall be built within or otherwise screened by the roof structure so that they do not project above parapets and are not visible from any public right of way, or neighboring building.
- e. The location of vertical mixed-use buildings shall be limited to buildings with frontage along Euclid Avenue.
- f. The building edge along Euclid Avenue may vary. It may occur a minimum of 10 feet behind the public right-of-way line or at a point that allows for up to two parking bays

served by a drive aisle, up to a maximum building setback of 80 feet.

- g. The building edge along Walnut Street shall provide a minimum setback of 10 feet.
- h. Building setbacks shall be measured from the ultimate property lines or ultimate right-of-way width, whichever is greater.
- i. Placement of buildings and structures shall conform with other specifications of Table 4-1: Summary of Development Standards.
- j. Any yard areas provided between the buildings and the right-of-way may be finished with hardscape, including walls/fences, or landscape.

4.4 VEHICLE ACCESS

Vehicular access from any public right-of-way shall be limited to two locations along Euclid Avenue and a maximum of three locations along Walnut Street, as approved by the City Engineer.



4.5 PARKING FACILITIES, SUPPLY, AND DESIGN

On-street parking on Euclid Avenue and Walnut Street adjacent to this PUD shall not be allowed.

- a. Non-residential uses shall be provided with parking at a minimum ratio of one parking space per 250 gross square feet of building area. Such parking shall be located on site, and shall be accessible during operating hours of the businesses being served.
- b. Residential uses shall be provided with parking at a minimum ratio of 1.2 parking spaces per bedroom in each dwelling unit, inclusive of providing guest or unassigned parking spaces. Resident parking shall be located on site, and may have access restricted by gated entrance. Resident parking for each dwelling unit or guests of that dwelling unit may be provided within a garage space, as a tandem space, within a carport, as surface level parking, or in combination. Tandem spaces are restricted to those directly in front of a garage door and shall be assigned to the same dwelling unit as the garage space.
- c. A parking management plan shall be submitted for the Planning Director approval prior to the issuance of building permits. The plan shall address the assignment, distribution, and functionality of all parking spaces among the various uses, including the use of non-residential spaces providing overflow resident guest spaces when businesses are closed.
- d. Parking spaces shall not obstruct access to building entrances, pedestrian paths, trash storage areas, or loading areas.
- e. Parking space dimensions, drive aisles, etc. shall generally conform to the standards set forth in the ODC unless modified herein.

4.6 RESIDENTIAL OPEN SPACE AND COMMON AMENITIES

Open space for the residential component shall be provided at a minimum ratio of 250 square feet per dwelling unit. Such space can be a combination of residential private open space and common amenities, subject to the following:

- a. A minimum of 50 square feet of individual private open space, in the form of balcony or patio area directly accessible from the interior of each dwelling unit, shall be provided. Individual balcony or patio areas shall have a minimum dimension for length and width of five feet.
- b. Common amenities shall be provided at the minimum ratio of 175 square feet per dwelling unit. This may include a combination of passive and active, indoor and outdoor spaces, roof-top or upper floor decks, as well as landscaped and hardscaped ground surfaces providing paseos between or adjacent to buildings. Up to 15 percent of the overall common amenity square footage may consist of indoor area and be grouped into a single building that is accessible to all residents. Such indoor area shall provide opportunities for fitness, lounge/gathering space, business/mail center, and similar amenities. The remaining common amenities provided shall be in the form of outdoor common areas consisting of both programmed and unprogrammed spaces. Programmed space may provide specific amenities: such as a dog park, seating/conversational areas, outdoor cooking facilities with table seating areas, etc. Unprogrammed space may provide passive use such as landscaped paseos.

4.7 SERVICE FACILITIES

Service areas and facilities shall comply with the following:

- a. Loading and unloading in proximity to both the residential and non-residential uses shall be addressed as part of the parking management plan submitted to the Planning Director to ensure coordination of operational hours and occupancy/vacancy of parking areas.
- b. Trash receptacles/recyclable container storage areas shall be provided for all residential and non-residential uses. Such receptacle/storage area may receive trash from commercial and residential sources. Locations, sizes, and design of such areas shall be readily accessible by trash disposal company equipment and work crews, as approved by the Planning and Public Works Directors, in consultation with the trash disposal vendor.
- c. Individual storage units shall be provided for the occupants of each dwelling unit, exclusive of any closets in the units. The total amount of cubic feet provided shall average 150 cubic feet per dwelling unit.

4.8 SIGNS

A Master Sign Program shall be submitted for approval by the Planning Director prior to issuance of a building permit to provide design and standards applicable to both residential and non-residential land uses within this PUD. The program will include specific sign criteria for gated access points. All signs shall comply with standards in the ODC. Any signage within the Euclid Avenue Caltrans right-of-way will require Caltrans review and approval.

4.9 LANDSCAPE/HARDSCAPE

- a. A detailed plan shall be submitted with the Development Plan specifying all landscape and hardscape elements of the residential open space and common amenities, as well as the perimeter yards abutting the street rights-of-way and all street trees.
- b. Water conservation shall be provided through low water using plant materials, hydro zones, water efficient irrigation and weather-based controllers as required by City codes. Landscaped areas may be used for storm water infiltration through vegetated swales, retention basins, or dry wells as needed with the use of appropriate planting materials.
- c. The landscape design shall generally satisfy the requirements of the Landscape Development Standards outlined in the ODC and shall create well-functioning spaces within a sustainable design utilizing materials as provided in Table 5-1: Master Plant Palette.
- d. Within parking areas, the following landscape areas and standards apply:
 1. For each row of parking spaces located within the restricted access (gated) parking areas, planter islands of at least six feet in width that extend the full length of the abutting parking space shall be located at a minimum rate of every 15 spaces. This rate shall be increased to every 10 spaces for parking areas with unrestricted access and/or adjacent to Euclid Avenue.
 2. Tree wells, tree diamonds, or center planter strips shall be provided to allow for the planting of shade trees at a minimum ratio of one tree for each five parking spaces. Tree wells shall not have a minimum dimension less than five feet.
 3. All landscape planters within parking areas shall be delineated with a six-inch-wide curb regardless of parking space configuration. The use of a 12-inch-wide curb may be provided to allow for a "step area" in circumstances where there is increased frequency of passengers exiting or entering a vehicle.



4. Bordering the Euclid Avenue frontage, a minimum 10 foot in depth planter area shall be provided between the public right-of-way and a parking space oriented perpendicular to the right-of-way.
5. A minimum 20-foot deep planter area shall be provided at a driveway between any public right-of-way to the first parking space to allow for a minimum 20-foot drive aisle throat.
- f. Street trees shall comply with the variety, size, and spacing as directed by the City of Ontario Master Street Tree Plan.

4.10 FENCES AND WALLS

- a. Fences and walls shall be an integral design or compatible with the building architecture and shall comply with the height and materials shown in Exhibit 5-6: Fence/Wall Concepts.
- b. Fences and walls may be setback zero feet from property lines except where such fence or wall is required to comply with Engineering Corner Sight Distance Standards and other applicable standards.
- c. Decorative walls, monuments, and/or other similar features shall not encroach into the public right-of-way.

4.11 PUBLIC RIGHT-OF-WAY IMPROVEMENTS

As determined by the City Engineer, design and construction of any street improvements adjacent to the property frontage of Euclid Avenue and Walnut Street shall be conditioned and may include, but not be limited to, concrete curb and gutter, sidewalk, LED street lights, signing and striping, and parkway landscaping. Any improvements within the Euclid Avenue Caltrans right-of-way will require Caltrans review and approval.

4.12 INFRASTRUCTURE

The parcels within the boundary of this PUD shall be served by existing water lines and wastewater flows and/or upgraded to satisfy the required capacities as determined by the City and its service purveyors/agencies, including the Fire Department.

On-site stormwater drainage facilities shall be provided consistent with the San Bernardino County Stormwater Program's Water Quality Management Plan (WQMP) requirements for new development projects. Stormwater capture and infiltration facilities may include the utilization of vegetated swales, depressed landscaped basins, pervious concrete pavement, and/or underground stormwater retention/infiltration vaults.

The parcels within the boundary of this PUD are considered a Priority Land Use (PLU). A PLU shall comply with the statewide Trash Provisions adopted by the State Water Resources Control Board (SWRCB) and trash requirements in the most current San Bernardino County Area-Wide MS4 Permit. Drainage from the PLU shall be designed with conveyance tributary to a Full Trash Capture System which has been approved by the SWRCB.

4.13 SUMMARY OF DEVELOPMENT STANDARDS

Table 4-1: Summary of Development Standards provides the quantitative development standards set forth in previous Sections 4.1 through 4.12 and any additional requirements for development within this PUD.

TABLE 4-1: SUMMARY OF DEVELOPMENT STANDARDS		
DEVELOPMENT STANDARD	REQUIREMENT	NOTES
Maximum Intensity - Floor Area Ratio	0.50 FAR	Gross building square footage of commercial space
Density Range - Minimum and Maximum	20.1 - 40	Up to a maximum of 369 dwelling units
Maximum Building Height by Number of Stories Four Stories Three Stories	60 ft. 50 ft.	Inclusive of architectural projections and equipment screening
Building Setbacks - From Right-of-Way	10 ft. minimum	
Setbacks - Interior Property Line Buildings Adjacent to Residential Buildings Adjacent to Non-Residential Carport or Trash Enclosure	50 ft. minimum 5 ft. minimum 5 ft. minimum	
Building Separation Building to Building Building to Drive Aisle or Parking Areas Building to Carport Patio to Patio	25 ft. minimum 5 ft. minimum 25 ft. minimum 15 ft. minimum	Individual driveway depth limited to 5 ft. or less, or 18 ft. or more
Minimum Number of Parking Spaces Ratio for Residential Uses Ratio for Non-Residential Uses	1.2 spaces/bedroom 1 space/250 sq. ft.	Inclusive of guest spaces
Residential Open Space and Common Amenities - Combined Minimum Ratio Minimum Private Open Space Ratio Minimum Common Amenity Ratio	250 sq. ft./du 50 sq. ft./du 175 sq. ft./du	5 ft. minimum width and length 15% maximum indoor
Residential Storage Units	150 cubic feet/du minimum	Does not include closets or cabinets interior to the unit

5

DESIGN CRITERIA

New development implemented under this PUD will generate new uses and design aesthetics in a way that fulfills many of the design goals and policies discussed previously in Chapter 2. The Community Design Element in TOP 2050 outlines specific “Place Types”; this PUD is categorized under Place Type 8e, which is considered “Neighborhood Center - Infill” type development, where the commercial and residential parcels were largely developed in an incremental manner prior to 2020. Redevelopment could result in either horizontal or vertical mixed use and are envisioned to incorporate site design that prioritizes safe, attractive, and well-shaded pedestrian access from the public rights-of-way and adjacent neighborhoods.

The parcels within this PUD site do not contain significant buildings, structures, or locations subject to historic preservation. While the first phase of development retains an existing fast-food restaurant structure, this building is not considered historic. The new infill development will include architecture that creates a dynamic visual environment and increases the pedestrian experience. The design criteria for the buildings provide articulation, dynamic materials and colors, and avoid bulky and monotonous elevations. Street trees and landscaped street-facing setback areas will provide opportunities to frame the street, create a pleasant pedestrian pathway, and minimize the building bulk from the public right-of-way.

The following sections provide guidance to City staff and private developers in the design of buildings, yards, and streets. Variations from strict interpretation of the standards are permitted, provided that the integrity of the urban design is not compromised. The following criteria shall be incorporated into the Development Plan for each phase of this PUD, subject to final interpretation by the Planning Commission.

5.1 BUILDING ORIENTATION

- a. Buildings along Euclid Avenue shall provide storefronts that invite pedestrian activity.
- b. Architectural focal treatments such as taller elements, textured surfaces, and unique fenestration shall be provided on frontage facing public streets.
- c. Buildings located at the street corner shall be designed to incorporate architectural features that respond to the corner location by having directed entries and/or tower elements.
- d. Multiple shop entrances and display windows with clear glazing, shall be provided along Euclid Avenue facades.

5.2 ACCESS AND PARKING FACILITIES

- a. Vehicular access and on-site parking shall be designed to reduce visual impact along Euclid Avenue and Walnut Street.
- b. On-site parking facilities serving non-residential uses shall be readily accessible, screened, and separated from the public right-of-way views with landscaping, including shade trees.
- c. On-site parking facilities serving residential uses may be located behind gated ingress/egress points. Gate access points from Euclid Avenue shall be set back to allow stacking of at least two vehicles, with sufficient space configured to allow a vehicle to turn around without backing into the street. The primary entry gate serving residential uses shall be designed to be easily recognizable to visitors.
- d. Carports and individual garage entries shall be designed to be compatible with the building architecture and use similar colors, materials, and details.

5.3 SERVICE FACILITIES

- a. Service, loading and, storage facilities shall be located away from public streets, outdoor spaces, and adjacent residential uses.
- b. Electrical equipment shall be located on the interior of a building. When interior locations are not practical, electrical equipment shall be enclosed and screened from public streets with walls, fencing, and/or landscaping that allows for sufficient ventilation, or buried in vaults.
- c. Service areas shall be screened and gated.
- d. All types of loading doors within view of public streets shall be screened with walls, berms, or plant materials.

5.4 PEDESTRIAN LINKAGES

- a. Pedestrian pathways shall be designed and located for clear and comfortable on-site pedestrian circulation. Sidewalks and pedestrian paths shall provide convenient connections between storefronts, outdoor spaces, and parking, as well as portals to adjacent residential uses.
- b. Landscape paseos shall be used to reinforce pedestrian connections. For instance, attractive paving and planting design may identify and highlight these connections by establishing a visual separation between vehicular and pedestrian routes and provide passive open space opportunities for residents.

5.5 ARCHITECTURAL CHARACTER

- a. The architectural character shall reflect the various styles within the City and along Euclid Avenue and shall fit in contextually without matching. The use of complementing proportions, building details, and building materials shall be employed.
- b. Compatibility between the vertical and horizontal mixed-use architecture shall be achieved through the use of unifying elements such as similar materials and colors.
- c. A schematic illustration of acceptable architectural character is shown in Exhibit 5.1: Architectural Character – Vertical Mixed-Use, Exhibit 5-2: Architectural Character – Three Story Residential, and Exhibit 5-3: – Four Story Residential.

5.6 MASSING & SCALE

- a. Simple, yet varied massing shall be used, with wall openings that create shadow line and provide visual relief.
- b. Massing and height of corner elements shall be emphasized by using strong and identifiable building forms such as taller building mass, tower element, or cupola.
- c. Building increments shall employ various architectural devices such as changes in colors/finish material, horizontal breaks and offsets, upper building portion reflecting the same increment of articulation as the ground level, and use of trim and moldings at the top of facades that reflect the vertical massing of the building.
- d. Where buildings will be of varying heights, they shall be designed to promote transition in massing and avoid abrupt changes in scale within the development.

5.7 ARTICULATION & FENESTRATION

- a. Buildings shall have three-dimensional qualities.
- b. The base and upper levels of a vertical mixed use building shall be differentiated with features for storefronts such as a bulkhead, display windows, and/or transom and detailed trim.
- c. Buildings shall be articulated on all sides. Fenestration, changes in wall plane, material, texture, color, etc. shall be used to create shadow lines and articulate building walls.
- d. Highly visible public entrances shall be provided where buildings are oriented towards Euclid Avenue to provide individual shop entrances featuring recesses, overhangs, special materials, and/or detailing.

Exhibit 5-1: Architectural Character — Vertical Mixed-Use













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<div style="border: 1px solid black; width: 40px; height: 15px; background-color: #FF8C00; margin: 0 auto;"></div> <p>G NAVEL SW6887 Bldg. A Accent Color</p>	<div style="border: 1px solid black; width: 40px; height: 15px; background-color: #FFD700; margin: 0 auto;"></div> <p>H FORSYTHA SW6807 Bldg. B Accent Color</p>	<div style="border: 1px solid black; width: 40px; height: 15px; background-color: #90EE90; margin: 0 auto;"></div> <p>I CENTER STAGE SW6920 Bldg. C Accent Color</p>				
 <p>1 EXTERIOR PLASTER 20/30 SAND FINISH TO MATCH PAINT SPECS</p>	 <p>2 FOAM TRIMS SHAPES AND SIZES WILL VARY TO MATCH PAINT SPECS F</p>	 <p>3 FIBER CEMENT LAP SIDING SMOOTH TO MATCH PAINT SPECS C & D</p>	 <p>4 FIBER CEMENT TRIM BOARDS SMOOTH TO MATCH PAINT SPEC F</p>	 <p>5 ALUMINUM STOREFRONT PAINT SPEC E</p>		
 <p>6 METAL AWNING STYLE AND DESIGN MAY VARY TO MATCH PAINT SPEC E</p>	 <p>7 FABRICATED METAL RAILING TO MATCH PAINT SPEC E</p>	 <p>8 VINYL WINDOWS</p>	 <p>9 STONE VENEER</p>	 <p>10 METAL TRELLIS PAINT SPEC D</p>		

Exhibit 5-2: Architectural Character — Three-Story Residential



Exhibit 5-3: Architectural Character — Four-Story Residential



5.8 ARCHITECTURAL DETAILS

- a. Architectural details shall be used to enhance a building's appearance at the base, eaves, parapets, and around entries and windows.
- b. Human-scaled details such as canopies and awnings, transparent windows and window displays shall be provided facing Euclid Avenue.
- c. Architectural features and details shall be an integral part of the building without an appearance of being "tacked on."

5.9 STOREFRONTS

- a. Storefronts for each commercial establishment shall have a unifying architectural aesthetic, but may include alteration of exterior treatments on the individual frontage of the space where such modifications compliment the overall design quality of the development.
- b. Storefronts shall incorporate desirable building materials such as brick, stone, tile, exterior cement plaster, or fiber cement siding.
- c. Storefront glazing shall be clear glass to permit clear views into the interior space. The amount of such glass shall provide a balance between high visibility into the store interior and architectural quality.
- d. Entrance doors shall be of a traditional style and as transparent as possible.

5.10 MATERIAL & COLORS

- a. Materials shall be those of permanence and quality and that unify a building's appearance on all sides.
- b. Materials and colors shall accentuate the architectural details of the building and promote visual harmony.
- c. To create visual interest, at least three different building materials shall be used.

5.11 ROOF/ROOFTOP EQUIPMENT

- a. At least one break in roof plane shall be provided on each building
- b. Rooftop equipment, including ladders and antenna devices, shall be screened so as not to be visible from streets and adjacent buildings. Methods of rooftop screening should be integral to the building's form.

5.12 NON-RESIDENTIAL OUTDOOR DINING AREAS

Outdoor dining areas adjacent to a ground-level eating or drinking establishment shall be oriented toward Euclid Avenue.

5.13 RESIDENTIAL OUTDOOR SPACE, COMMON RECREATIONAL AMENITIES

- a. Private balcony and/or patio enclosures shall consist of materials that are complementary to materials and colors used on the building elevations. Each balcony shall be oriented or enclosed sufficiently to increase privacy between balconies of adjacent units.
- b. Common outdoor spaces providing passive recreation shall include either shade elements and/or trees providing shade canopy.
- c. Indoor recreation/fitness/community facilities shall be of the same architectural style and materials that match or complement the primary building architecture with a layout as shown in Exhibit 5-4: Typical Common Recreational Amenity.
- d. Outdoor seating, tables and umbrellas, gazebos, barbecues, natural or artificial lawn area, and/or other place-making features that are provided shall be compatible with the architectural style of the buildings with a layout as shown in Exhibit 5-5: Typical Courtyard.

Exhibit 5-4: Typical Common Recreational Amenity



Exhibit 5-5: Typical Courtyard



5.14 LANDSCAPE / HARDSCAPE ELEMENTS

- a. Landscaping elements shall contribute and complement the aesthetic quality and character of the public and private spaces.
- b. Table 5-1: Master Plant Palette shall guide the selection of materials for street trees, perimeter trees and shrubs, courtyard and common area trees, vines, screening and hedge plants, and groundcover.
- c. Landscaping shall be provided to define and enrich courtyards and walkways and shall include specimen trees of minimum size 24 inch box.
- d. Hardscaping shall be composed of decorative paving materials and patterns, rather than a single, continuous surface.
- e. Fences/walls shall complement the building materials similar to those depicted in Exhibit 5-6: Fence/Wall Concepts.

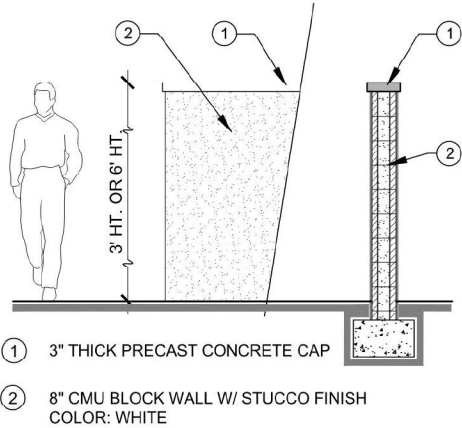
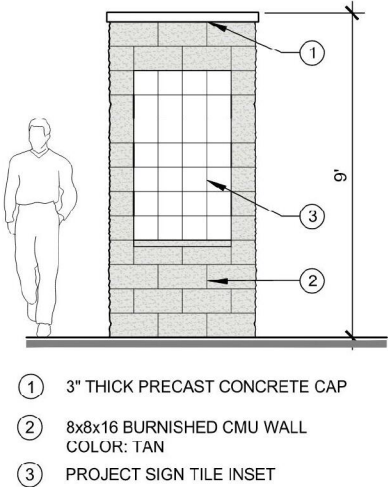
TABLE 5-1: MASTER PLANT PALETTE

BOTANICAL NAME	COMMON NAME	MINIMUM SIZE
STREET TREES		
<i>Grevillea robusta</i>	Silk Oak (Euclid)	24" Box
<i>Platanus wrightii</i>	Arizona Sycamore	
SITE TREES AND PALMS		
<i>Quercus agrifolia</i>	Coast Live Oak	48" Box
<i>Platanus racemosa</i>	California Sycamore	
<i>Ulmus parvifolia 'True Green'</i>	Evergreen Elm	
<i>Koelreuteria paniculata</i>	Golden Rain Tree	36" Box
<i>Lagerstroemia hybrids 'Muskogee'</i>	Crape Myrtle (Lavender)	
<i>Chilopsis linearis</i>	Desert Willow	
<i>Aloe bainesii</i>	Tree Aloe	24" Box
<i>Arbutus 'Marina'</i>	Strawberry Tree	
<i>Cercis occidentalis</i>	Western Redbud	
<i>Platanus acerifolia 'Bloodgood'</i>	London Plane Tree (anthracnose res.)	
<i>Podocarpus gracilior</i>	Fern Pine	
<i>Quercus wislizeni</i>	Interior Live Oak	
<i>Tristania conferta</i>	Brisbane Box	
<i>Phoenix dactylifera</i>	Date Palm	16' Brown Trunk Height

TABLE 5-1: MASTER PLANT PALETTE

BOTANICAL NAME	COMMON NAME	MINIMUM SIZE
SHRUBS		
<i>Agave 'Blue Flame'</i>	Blue Flame Agave	5 Gallon
<i>Agave desmettiana 'Variegata'</i>	Variegated Dwarf Century Plant	
<i>Alyogne huegelii 'MONleon'</i>	Leon's Purple Delight Lilac Hibiscus	
<i>Arbutus unedo 'Elfin King'</i>	Elfin King Strawberry King	
<i>Buxus microphylla japonica</i>	Japanese Boxwood	1 Gallon
<i>Calandrinia spectabilis</i>	Rock Purslane	
<i>Carex tumulicola</i>	Foothill Sedge	
<i>Carissa grandiflora 'Green Carpet'</i>	Natal Plum	
<i>Dianella revoluta 'DR5000'</i>	Little Rev Flax Lily	
<i>Dianella tasmanica 'Silver Streak'</i>	Silver Streak Flax Lily	
<i>Ilex crenata 'Sky Pencil'</i>	Sky Pencil Ilex	
<i>Juniperus scopulorum 'Skyrocket'</i>	Skyrocket Juniper	
<i>Lantana montevedensis 'Monma'</i>	White Lightin' Lantana	1 Gallon
<i>Ligustrum japonicum 'Texanum'</i>	Wax Leaf Privet	5 Gallon
<i>Lomandra longifolia 'LM300'</i>	Breeze Dwarf Mat Rush	
<i>Muhlenbergia capillaris 'Regal Mist'</i>	Regal Mist Muhly	
<i>Myoporum parvifolium</i>	No Common Name	1 Gallon
<i>Philodendron x 'Xanadu'</i>	Dwarf Philodendron	5 Gallon
<i>Pittosporum tobira</i>	Tobira	
<i>Podocarpus elongatus 'Monmal'</i>	Icee Blue Yellow-Wood	
<i>Prunus caroliniana 'Bright n' Tight'</i>	Carolina Cherry	
<i>Raphiolepis indica 'Clara'</i>	Dwarf Indian Hawthorne	
<i>Raphiolepis x. 'Montic'</i>	Majestic Beauty Indian Hawthorne	
<i>Rosa 'Flower Carpet var. Noatraum'</i>	Pink Carpet Rose	
<i>Rosa f. 'Ice Berg'</i>	White Shrub Rose	5 Gallon
<i>Trachelospermum asiaticum</i>	Asian Jasmine	1 Gallon
VINES AND ESPALIERS		
<i>Clytostoma callistegioides</i>	Violet Trumpet Vine	5 Gallon
<i>Distictus buccinatoria</i>	Blood Red Trumpet Vine	
<i>Ficus pumila (repens)</i>	Creeping Fig	1 Gallon
<i>Parthenocissus tricuspidata</i>	Boston Ivy	

Exhibit 5-6: Fence/Wall Concepts

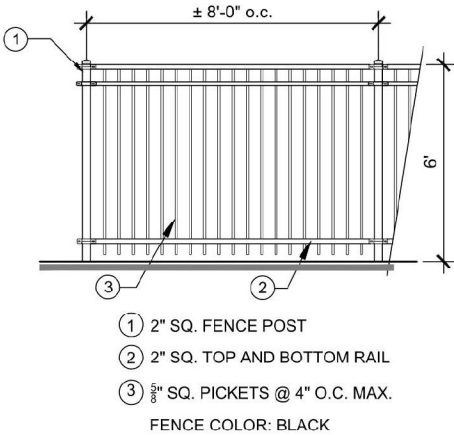
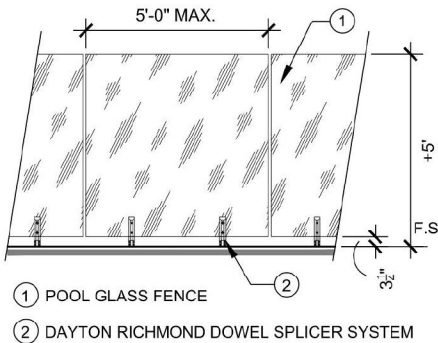
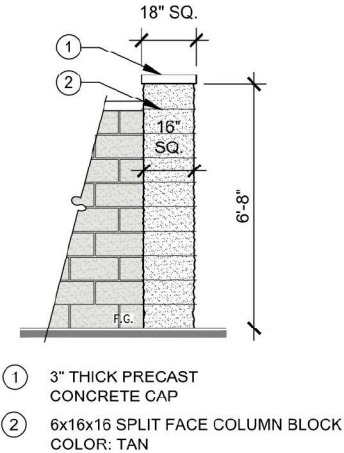


4' SQ. PILASTER

SCALE: N.T.S.

3' HT. OR 6' HT. STUCCO WALL

SCALE: N.T.S.



16" SQ. PILASTER

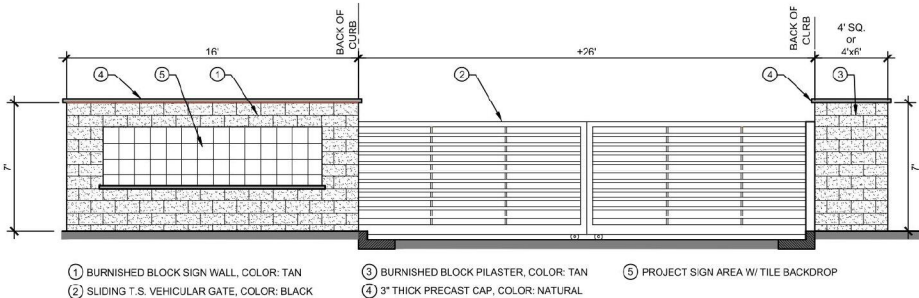
SCALE: N.T.S.

GLASS FENCE

SCALE: N.T.S.

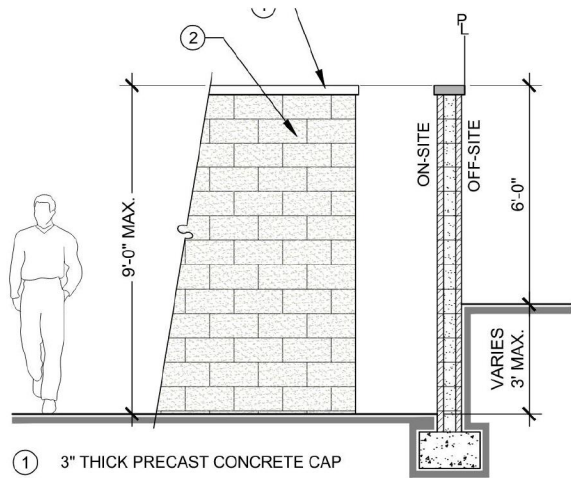
TUBULAR STEEL FENCE

SCALE: N.T.S.



- ① BURNISHED BLOCK SIGN WALL, COLOR: TAN
- ② SLIDING T.S. VEHICULAR GATE, COLOR: BLACK
- ③ BURNISHED BLOCK PILASTER, COLOR: TAN
- ④ 3" THICK PRECAST CAP, COLOR: NATURAL
- ⑤ PROJECT SIGN AREA W/ TILE BACKDROP

ENTRY GATE

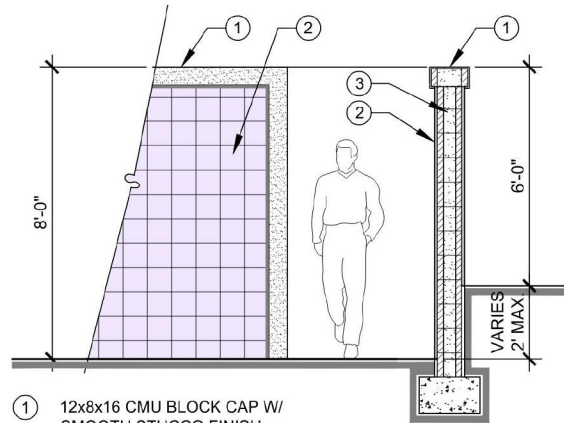


- ① 3" THICK PRECAST CONCRETE CAP
- ② 8x16 SPLIT FACE (2-SIDES) CMU WALL
COLOR: TAN

PERIMETER WALL



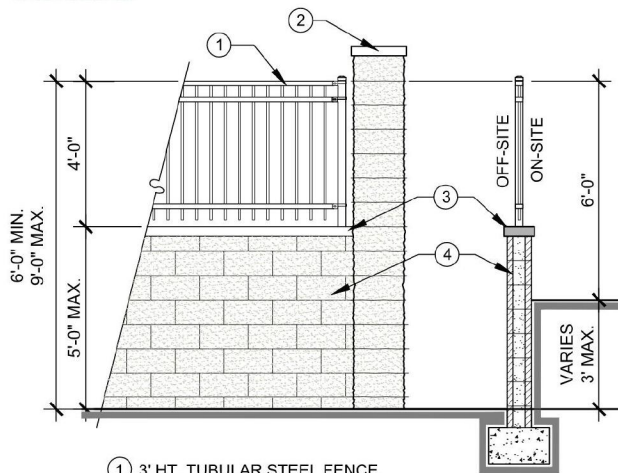
SCALE: N.T.S.



- ① 12x16 CMU BLOCK CAP W/
SMOOTH STUCCO FINISH
- ② DECORATIVE TILE VENEER
8" SQ. CEMENTINE TILE
- ③ 8x16 CMU BLOCK WALL W/
SMOOTH STUCCO FINISH
COLOR: WHITE

DECORATIVE STUCCO WALL

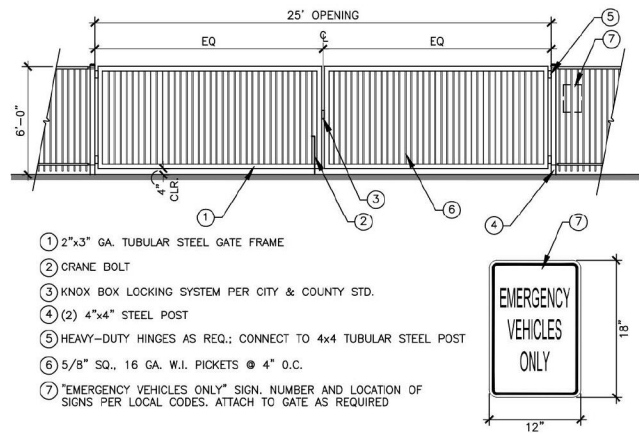
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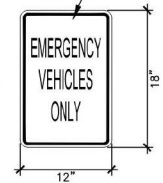
- ① 3' HT. TUBULAR STEEL FENCE
- ② 8X8X16 SPLIT FACE PILASTER
COLOR: TAN
- ③ 3" THICK PRECAST CONCRETE CAP
- ④ 6X8X16 SPLIT FACE CMU WALL
COLOR: TAN

SPLIT FACE COMBO WALL

SCALE: N.T.S.

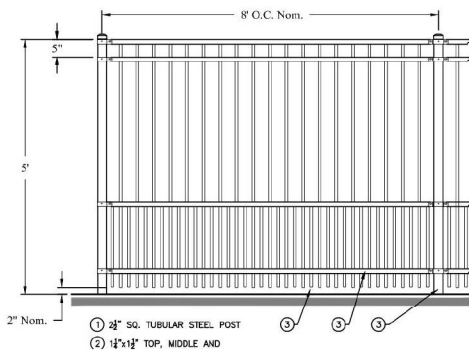


- ① 2"x3" GA. TUBULAR STEEL GATE FRAME
- ② CRANE BOLT
- ③ KNOX BOX LOCKING SYSTEM PER CITY & COUNTY STD.
- ④ (2) 4"x4" STEEL POST
- ⑤ HEAVY-DUTY HINGES AS REQ.; CONNECT TO 4x4 TUBULAR STEEL POST
- ⑥ 5/8" SQ., 16 GA. W.I.L. PICKETS @ 4" O.C.
- ⑦ "EMERGENCY VEHICLES ONLY" SIGN, NUMBER AND LOCATION OF
SIGNS PER LOCAL CODES, ATTACH TO GATE AS REQUIRED



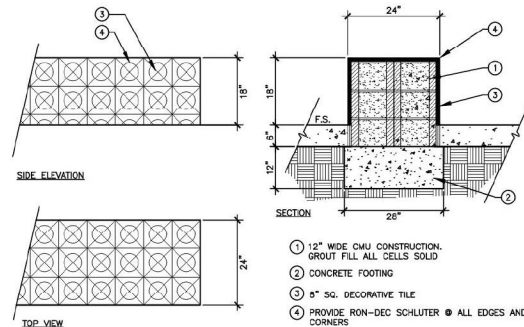
EVA GATE

SCALE: N.T.S.



DOG PARK FENCE

SCALE: N.T.S.



- ① 12" WIDE CMU CONSTRUCTION,
GROUT FILL ALL CELLS SOLID
- ② CONCRETE FOOTING
- ③ 8" SQ. DECORATIVE TILE
- ④ PROVIDE RON-DEC SCHLUTER @ ALL EDGES AND
CORNERS

18" HT. DECORATIVE SEAT WALL

SCALE: N.T.S.

6

ADMINISTRATION

6.1 ITEMS NOT ADDRESSED IN PUD

Any terms not defined herein and any issues affecting the design and development of the subject project area not specifically addressed in this PUD shall be governed by the provisions of the ODC.

6.2 DEVELOPMENT PLAN AND OTHER APPLICATIONS

A Development Plan shall be submitted for each phase of this PUD for approval by the Development Advisory Board and the Ontario Planning Commission, pursuant to the requirements and procedures outlined in the ODC.

To ensure proper implementation of the EA Overlay district, an application for a Certificate of Appropriateness shall be submitted in conjunction with the Development Plan required for each phase of this PUD, pursuant to all requirements and procedures outlined in the ODC.

Lot line adjustments or the combining of parcels within this PUD shall comply with all requirements and procedures outlined in the ODC. Such actions may be conditioned for compliance as part of the Development Plan approval process.

6.3 ADMINISTRATIVE EXCEPTIONS

Deviation from the development standards set forth in this PUD may be granted up to a maximum of 10 percent by the Zoning Administrator. Any deviation that is greater than 10 percent shall require Variance approval pursuant to the requirements and procedures outlined in the ODC.



LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

Date Prepared: 7/11/2023 Revised: 8/21/2023

File No: PUD22-004

Related Files: PDEV22-027 and PHP22-015

Project Description: A Planned Unit Development (File No. PUD22-004) to establish development standards and design guidelines for the overall 10.6-acre Project site, in conjunction with a Development Plan (File No. PDEV22-027) to construct 346 apartment units and 5,400 square feet of commercial space on 9.4 acres of the Project site and a Certificate of Appropriateness (File No. PHP22-015) to determine whether the Project site is an historic resource. The Project site is located at the northwest corner of Euclid Avenue and Walnut Avenue, within the Mixed Use – Neighborhood Hub 8e – Euclid and Walnut (MU-NH 8e) zoning district; (APNs: 1051-271-67, 1051-271-06, and 1051-271-66); **submitted by Legacy/Collier Residential LLC.**

Prepared By: Alexis Vaughn, Associate Planner
Phone: 909.395.2416 (direct)
Email: avaughn@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project are listed below. The Project shall comply with each condition of approval:

1.0 Standard Conditions of Approval. The Project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the Project shall comply with the following special conditions of approval:

2.1 Planned Unit Development. The final City Council approval date and ordinance number shall be added to the title page (the October and May dates shall be removed) and the following items submitted to the Planning Department within 30 days following City Council approval of the Planned Unit Development:

(a) Two copies of the final Euclid Walnut Planned Unit Development document – color, double-sided, and bound; and

(b) One CD or flash drive containing a complete copy of the final Planned Unit Development document in Microsoft Word and/or its original and accessible file format, such as InDesign, and a complete PDF copy of the final document, optimized for the web.

2.2 Signs.

(a) All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

(b) On-site posting of large public notification signs was required for this Project, pursuant to Code Section 2.03.010.C.4, which consists of one or more large, 6-foot-tall, freestanding public notification signs. The signs, which were posted no later than ten calendar days prior to the Planning Commission hearing date, shall be removed no later than fourteen calendar days following the City Council hearing date, unless an extension is required by the Planning Director.

(c) Per the provisions of the Planned Unit Development, a Sign Program shall be submitted for review and approval prior to issuance of building permits for the Project site.

2.3 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noise levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.4 Covenants and Lease Agreement Terms.

(a) A current covenant shall be recorded for the properties (generally, Phase 1 and Phase 2 of the Project site, as described in the Euclid Walnut Planned Unit Development) that provides for reciprocal access between the two properties.

(b) A parking management plan and any lease agreement/terms shall be submitted to the City for review and approval, prior to issuance of a building permit for the Project. The lease agreement/terms shall include, but not be limited to, the following:

(i) Clauses prohibiting public nuisances, including but not limited to, excessive noise, parking of vehicles on driveways to garages that are less than 18 feet in length, excessive storage of personal items on balconies, and the hanging of personal items over balcony railings (such as clothes lines, towels, etc.); and

(ii) Personal property storage shall not preclude the intended number of vehicles from being parked within the garage. Carports shall not be used for personal property storage but solely vehicle parking.

2.5 Disclosure Statements.

(a) The following information shall be provided to each prospective renter of the residential units:

(i) This site is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

(ii) Some of the property adjacent to this site is zoned for agricultural uses and there could be fly, odor, or related problems due to the proximity of animals.

(iii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

2.6 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.7 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

2.8 Related Applications. Planned Unit Development (File No. PUD22-004) approval shall not be final and complete until such time that related File Nos. PHP22-015 and PDEV22-027 have been approved by the Planning Commission. A Lot Line Adjustment/Lot Merger is also required to be approved prior to issuance of Building Permits, pursuant to Engineering Department conditions of approval.

2.9 Additional Requirements.

(a) In-line tenant spaces shall contain a high-quality food service establishment.



ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Land Development Division, Environmental Section, Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES	<input type="checkbox"/> TRACT MAP
PROJECT FILE NO. <u>PDEV22-027</u>		
RELATED FILE NO(S). <u>PUD-22-004</u>		
<input type="checkbox"/> ORIGINAL <input checked="" type="checkbox"/> REVISED: 8/7/2023		

CITY PROJECT ENGINEER & PHONE NO: **Angela Truong** **(909) 395-2134**

CITY PROJECT PLANNER & PHONE NO: **Alexis Vaughn** **(909) 395-2416**

DAB MEETING DATE: **August 7th, 2023**

PROJECT NAME / DESCRIPTION: **PDEV22-027, a Development Plan to construct a mixed use development consisting of 346 multiple-family dwellings with 6,000 square feet of commercial retail space on approximately 10.63 acres of land within the CC zoning district.**

LOCATION: **Northwest Corner of Euclid Avenue and Walnut Street**

APPLICANT: **Legacy/Collier Residential LLC**

REVIEWED BY: Raymond Lee 8/7/23.
Raymond Lee, P.E. Date
Assistant City Engineer

APPROVED BY: [Signature] 8-7-23
Khoi Do, P.E. Date
City Engineer

Project File No. PDEV22-027, PUD22-004
Project Engineer: Angela Truong
DAB Date: 8/7/2023



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: **Check When Complete**

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____
 and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s):
 A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.
 (1) _____
 (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.

Project File No. PDEV22-027, PUD22-004
 Project Engineer: Angela Truong
 DAB Date: 8/7/2023



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ontarioca.gov) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 Ontario Ranch Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per _____.
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
- 2.05 **Apply for a:**
 - Certificate of Compliance with a Record of Survey;
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);**
 - Make a Dedication of Easement.



2.06 ~~Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.~~

2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.

2.08 **Submit a soils/geology report.**

2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**

- State of California Department of Transportation (Caltrans) (for improvements on Euclid Avenue)**
- San Bernardino County Road Department (SBCRD)
- San Bernardino County Flood Control District (SBCFCD)
- Federal Emergency Management Agency (FEMA)
- Cucamonga Valley Water District (CVWD) for sewer/water service
- United States Army Corps of Engineers (USACE)
- California Department of Fish & Game
- Inland Empire Utilities Agency (IEUA)
- Other: _____

2.10 Dedicate to the City of Ontario the right-of-way described below:
_____ feet on _____
Property line corner 'cut-back' required at the intersection of _____
and _____.

2.11 **Dedicate to the City of Ontario the following easement(s):**
A. For water purposes from the eastern property boundary to 10 feet west of the existing public potable water main (W11492).

2.12 **Vacate the following street(s) and/or easement(s):**
A. 6-foot SCE easement along western property boundary.
B. 10-foot Chino Water District utility easement along northern property boundary.
C. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.

2.13 **Ontario Ranch Developments:**
 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay



any applicable fees as set forth by said agreement.

3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).

2.14 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.

2.15 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.

2.16 Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee for the proposed retail space, approximately \$17,949.36, shall be paid to the Building Department. Remaining DIF shall be calculated by the Building Department. Final fee shall be determined based on the approved site plan and the DIF rate at the time of payment.

2.17 Other conditions:
a. **Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.**



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Euclid Avenue	Walnut Street	Street 3	Street 4
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input checked="" type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input checked="" type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input type="checkbox"/> New <input checked="" type="checkbox"/> Replace damaged	<input checked="" type="checkbox"/> Widen (a) <input checked="" type="checkbox"/> Replace damaged	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation



Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input checked="" type="checkbox"/> Underground, see Sec. 2.22 <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	_____	_____	_____	_____

Specific notes for improvements listed in item no. 2.18, above:

- a. Widen sidewalk to allow ADA clearance around proposed fire hydrants.

- 2.19 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s):

 - a. From curb to centerline along project frontage on Walnut Street.

- 2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.



- 2.21 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.22 **Overhead utilities shall be under-grounded, in accordance with Title 7 of the City’s Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately \$208,792.50 (\$350/LF for 596.55 LF on Walnut Street), for undergrounding of utilities in accordance with Section 7-7.302.e of the City’s Municipal Code.**
- 2.23 Other conditions: _____

C. SEWER

- 2.24 **An 8-inch sewer main is available for connection by this project in Euclid Avenue (Ref: Sewer Drawing Number: S11617). An 8-inch sewer main is available for connection by this project in Laurel Avenue (Ref: Sewer Drawing Number: S10550).**
- 2.25 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.26 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.27 **Other conditions:**
 - a. **See Exhibit B for additional Sewer Conditions of Approval from OMUC.**

D. WATER

- 2.28 **A 6-inch water main is available for connection by this project in Euclid Avenue (Ref: Water Drawing Number: W11065). An 8-inch water main is available for connection by this project in Euclid Avenue (Ref: Water Drawing Number: W11492).**
- 2.29 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.30 **Other conditions:**
 - a. **See Exhibit B for additional Water Conditions of Approval from OMUC.**

E. RECYCLED WATER

- 2.31 A _____ inch recycled water main is available for connection by this project in _____. (Ref: Recycled Water Drawing Number: _____)
- 2.32 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.33 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.



- 2.34 Submit one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and subsequent submittal to the California State Water Board (Division of Drinking Water) for final approval.

Note: Review and approval process may take up to three (3) months. Contact the OMUC's Water Quality Programs at (909) 395-2678 or email OMUCWQPlanCheck@ontarioca.gov regarding this requirement.

- 2.35 Submit one (1) electronic copy, in PDF format, of the Landscape Plans (on-site & off-site) to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and approval.

- 2.36 Other conditions: _____

F. TRAFFIC / TRANSPORTATION

- 2.37 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:

1. On-site and off-site circulation
2. Traffic level of service (LOS) at 'build-out' and future years
3. Impact at specific intersections as selected by the City Engineer

- 2.38 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.

- 2.39 Other conditions:

1. **The applicant/developer shall be responsible to perform all traffic signal modifications and operational improvements as required by the level of service and eastbound/westbound left turn phasing analysis for the intersection of Euclid Avenue and Walnut Avenue, and to the satisfaction of the City Engineer.**
2. **The applicant/developer shall coordinate any work and improvements on Euclid Avenue (State Route 83) with Caltrans via their encroachment permit process. Staff recommends that the Applicant/developer coordinate the proposed improvements along Euclid Avenue with Caltrans during the entitlement phase.**
3. **The applicant/developer shall be responsible to design and construct street improvements along property frontage of Euclid Avenue and Walnut Street in accordance with conditions issued by City's Land Development Division. These, and all other street improvements required herein, shall include, but not be limited to, concrete curb and gutter, sidewalk, LED street lights, signing and striping, and parkway landscaping.**
4. **Euclid Avenue and Walnut Street shall be signed "No Stopping Anytime" along the property frontage.**
5. **The proposed driveways onto Euclid Avenue shall be restricted to right-in/right-out ingress/egress due to the existing raised median.**
6. **Design and construct proposed driveways in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveway.**
7. **The applicant/developer shall be responsible to design and construct 1 in-fill public street light along its project frontage on Walnut Street at the T-intersection with Laurel Avenue. Street lighting shall be LED-type and in accordance with City's Traffic and Transportation Design Guidelines. The applicant/developer shall also install smart nodes on all new street light fixtures along project frontage.**
8. **The applicant/developer shall be responsible to replace any existing street light fixtures along its project frontage of Euclid Avenue and Walnut Avenue with the current City approved LED equivalent fixture per the Traffic and Transportation Design Guidelines. The applicant/developer shall also install smart nodes on all existing street light**



fixtures along project frontage.

9. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.
10. The applicant/developer's engineer-of-record shall meet with City Engineering staff prior to starting signing/stripping and street lighting design plans.

G. DRAINAGE / HYDROLOGY

- 2.40 A 24-inch storm drain main is available to accept flows from this project in Euclid Avenue (Ref: Storm Drain Drawing Number: unknown)
- 2.41 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.42 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.43 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.44 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100-year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.45 Other conditions:
- a. Developer shall construct the proposed 24" storm drain line (EULD-VII-1) in Euclid Avenue along the project frontage.

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.46 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels. If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted. Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.47 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.
- 2.48 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.



2.49 Other conditions: _____

J. SPECIAL DISTRICTS

2.50 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.

2.51 Other conditions: _____

K. FIBER OPTIC

2.52 A _____ fiber optic line is available for connection by this project in _____. (Ref: Fiber Optic Drawing Number: _____)

2.53 **Design and construct fiber optic system to provide access to the City’s conduit and fiber optic system per the City’s Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole, to be constructed in the ROW at the extreme NEC and SWC of the property.**

2.54 **Refer to the City’s Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.**

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

3.01 **Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**

3.02 Complete all requirements for recycled water usage.

1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.

2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.

3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.

3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**

3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.



- 3.05** Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06** Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01** Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02** Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03** The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.
- 4.04** Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV22-027, PUD-22-004

The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. **Include a PDF (electronic submittal) of each required improvement plan at every submittal.**
6. **Two (2) sets of Potable Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
7. Three (3) sets of Public Street improvement plan with street cross-sections
8. Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
9. Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
10. Four (4) sets of Public Sewer improvement plan
11. **Five (5) sets of Public Storm Drain improvement plan**
12. **Three (3) sets of Public Street Light improvement plan**
13. **Three (3) sets of Signing and Striping improvement plan**
14. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15. Three (3) sets of HOA Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
16. Five (5) sets of CFD Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
17. **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
18. **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
19. **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**



20. **One (1) copy of Hydrology/Drainage study**
21. **One (1) copy of Soils/Geology report**
22. Payment for Final Map/Parcel Map processing fee
23. Three (3) copies of Final Map/Parcel Map
24. One (1) copy of approved Tentative Map
25. **One (1) copy of Preliminary Title Report (current within 30 days)**
26. One (1) copy of Traverse Closure Calculations
27. **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
28. Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
29. **Other:**
 - a. **Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.**



CITY OF ONTARIO MEMORANDUM



DATE: July 13, 2023
TO: Angela Truong, Engineering Department
CC: Alexis Vaughn, Planning Department

FROM: Jeff Krizek, Utilities Engineering Division (QCR: HAY)

SUBJECT: DPR5 & Utilities Engineering Conditions of Approval (COAs) (#9284c)
PROJECT NO.: PDEV22-027

BRIEF DESCRIPTION:

PDEV22-027: A Development Plan to construct a mixed-use development consisting of 346 multiple-family dwellings and 6,000 square feet of commercial retail space on approximately 10.63 acres of land generally located at the Northwest corner of Euclid Avenue and Walnut Street, within the CC (Community Commercial) zoning district (APNs: 1051-271-67, 1051-271-06, and 1051-271-66). Related File: PUD-22-004.

OMUC UTILITIES ENGINEERING DIVISION CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL: *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

General Conditions:

1. Standard Conditions of Approval: Project shall comply with the requirements set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as project-specific conditions/requirements as outlined below.

Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:

General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:

2. Inherited Requirements and Conditions of Approval: This project is subject to all the Requirements and Conditions of Approval of related entitlements: PUD-22-004. Any conflict in Conditions of Approval and requirements, the Conditions of Approval below for this Project will supersede previous Conditions of Approval.
3. Final Utilities Systems Map (USM): Submit a Final Utilities Systems Map (USM) as part of the precise grading plan submittal that meets all the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements. See Utility Systems Map (USM) Requirements document for details.
4. Note the following definitions and concepts for Public Utility Improvements and Private Utility Improvements: Public Improvements shall be designed per City Public Design Guidelines and City Standards and constructed through a City Encroachment Permit; and Private Onsite Improvements shall be designed per Building Code and Plumbing Code and constructed through a City Building Permit.

- a. Public Utility Improvements include the following: water main pipelines and sewer main pipelines; sewer laterals connecting to a Public Sewer Main up to the Cleanout (or Manhole) at PL/RoW; water services and connected appurtenances (Meters/Meter Boxes, Fire Hydrants, Airvacs, Blowoffs, etc.) connecting to a Public Water Main per City Standards; and Fire Services connecting to a Public Water Main from the Main up to the DCDA. Public Water Improvements and Public Sewer Improvements are required to be designed and constructed through Public Improvement Plans with Plan View and Profile View per City Standards, Guidelines, and Requirements.
 - b. Private Utility Improvements include the following: onsite water plumbing lines after a Public Meter, or after the Fire DCDA and including the DCDA; Backflow Devices and other Cross-Connection Prevention; onsite sewer upstream of the Public Sewer Lateral, including the Cleanout (or Manhole) at PL/RoW/PUE Edge; Monitoring Manholes and other Wastewater Pretreatment Facilities. Private Onsite Utility Improvements are required to be designed and constructed per Building and Plumbing Plans with: the Backflows, DCDAs, Cleanout (or Manhole) at PL/RoW/PUE Edge, and Monitoring Manholes being designed and constructed through a Precise Grading Plan; and, the other Pretreatment Devices (Grease Interceptor, Sand, Oil Interceptors, etc.) and the connections to the buildings and structures through a building Plumbing Plan.
5. Public Utilities and Public Right-of-Way including Public Utility Easements (PUE): All City of Ontario Public Utilities shall be installed within a Public Right-of-Way (RoW), or within a Public Utility Easements (PUE), or within a combination of RoW and PUE. In this case, Public Utilities is referring to the mains and connected appurtenances of the following City of Ontario/OMUC Utilities: Public Potable Water; Public Recycled Water; and Public Sanitary Sewer. All Public Utilities shall be subject to the Minimum RoW/PUE Area Requirements and PUE Restrictions:
- a. Minimum RoW Area Requirements: Public Utilities shall be installed within in existing RoW/PUE in alignments/locations that meet the following minimum RoW/PUE areas surrounding the Public Utilities, and/or additional RoW/PUE shall be dedicated/granted to the City to provide the following minimum RoW/PUE areas surrounding the Public Utilities:
 - i. For each main, the RoW/PUE Area shall be a minimum of 20 feet wide, centered on the utility main with a minimum of 10 feet of RoW/PUE on each side of the main and this minimum area shall extend a minimum for 10 feet past the end of a main;
 - ii. For each Service/Lateral, the RoW/PUE Area shall be a minimum of 10 feet wide, centered on the service/lateral with a minimum of 5 feet of PRoW on each side of each service/lateral;
 - iii. For each water meter box, the RoW/PUE Area shall be a minimum of 5 feet behind and 5 feet on each side of a water meter box;
 - iv. For each water appurtenances (fire hydrants, blowoffs, airvacs, etc), the RoW/PUE Area shall be a minimum of 5 feet on each side surrounding the water appurtenances (fire hydrants, blowoffs, airvacs, etc);
 - v. The RoW/PUE minimum areas for separate Public Utilities may overlap, provide that all minimum separations and PUE Restrictions are met.
 - b. PUE Restrictions: The Minimum PUE Area required surrounding Public Utilities shall be subject to the following restrictions:
 - i. The Minimum PUE Area required surrounding Public Utilities shall not contain:
 - A. Any storm water quality improvements (infiltration, detention, retention, bioswale, etc);
 - B. Landscaping with thick or intrusive root structures,
 - C. Any trees;
 - D. Any private utilities, plumbing lines, private fire system, or irrigation lines; or,
 - E. Any permanent structures or overhangs of permanent structures.
 - ii. The PUE surface shall be designed to allow vehicle access over and along the full length of the utility main by any City maintenance vehicle.
 - iii. Minimum Separations: Within a PUE, all Department of Drinking Water (DDW) Water Main Separations per California Code of Regulations (CCR) §64572 shall be met for all Public Potable Water Mains and Services between: all Public City Utilities; Non-City Utilities; and Private Utilities. Additionally, the following Minimum Separations shall be met:
 - A. At minimum there shall be a 4 feet horizontal separation between each utility as measured between the outside walls of the utility pipelines, or in the case of a Joint Utility Trench, between the outside edge of the Joint Utility Trench and the outside wall of the Utility Pipeline.
 - B. Public Utility mains shall not be located behind curb or under curb & gutter and shall be located at minimum of 5 feet from curbface.

Sanitary Sewer Conditions (Section 2.C): The Applicant shall comply with the following:

6. Sanitary Sewer Service:
- a. Each building and its onsite private sewer system shall discharge wastewater to the Public Sanitary Sewer System through a Public Sewer Lateral per Standard #2003. The quantity of Public Sewer Laterals for each building shall be limit to the minimum necessary to meet all of the conditions of approved and as limited by the City.
 - b. Public Sewer Laterals and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or with 5 feet of any Public Sewer Lateral.
7. Private Onsite Sewer System and Plumbing: The Onsite Sewer System shall be privately maintained by the property owner and shall meet the following requirements:
- a. The Onsite sewer system and building plumbing shall be designed in such a way that the wastewater flows for residential uses leave the building separately from wastewater flows for non-residential uses.
 - b. For wastewater flows for non-residential uses:
 - i. The Onsite sewer system and building plumbing shall be designed in such a way that the sanitary domestic wastewater flows leave the building separately from non-sanitary wastewater flows (industrial, process, or kitchen, etc.) and the line for non-sanitary wastewater flows can be upgraded in the future to have pretreatment equipment and devices on it, as required by a Wastewater Discharge Permit.
 - ii. Each building and each connection from the Onsite Sewer System to the Public Sewer System shall have an onsite monitoring manhole prior to the point of connection with the Public Sewer System.
 - c. Private Onsite Sewer and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or with 5 feet of any Private Onsite Sewer pipes.
8. Wastewater Discharge: For Non-Residential Uses: each Occupant of the building, or units, as applicable, shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. Requirements of Wastewater Discharge Permit may include, but not limited to include installing a monitoring manhole, clarifier, interceptor, or other wastewater pretreatment equipment.

Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:

9. Potable Water Service:
- a. Domestic Service:
 - i. Multifamily attached residential buildings shall have a domestic potable water service and public master meter connected to the Public Potable Water System with onsite private backflow prevention device and submetering.
 1. This Project requires a minimum of two (2) meters for domestic residential use with the private onsite domestic water system looped between the meters. One meter shall be located along Euclid Avenue and one shall be located along Walnut Avenue.
 - ii. Any Non-Residential Uses, needing a potable water service shall have its own potable water service and meter with backflow prevention device connected to the Public Potable Water System separate from residential uses.
 - b. Irrigation Service: For landscape irrigation uses that are not served by Recycled Water, the landscape irrigation uses shall have a separate irrigation water service and meter with backflow prevention device connected to the Public Potable Water System separate from the domestic water uses and the onsite plumbing systems shall be also separate from each other.
 - i. Community Service District (CFD) Maintained Irrigation Areas: Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owners association require irrigation services and meters separate from those that are maintained by the property owner or owners association.

- c. Backflow Prevention: Each Meter connected to the Public Potable Water System that serves any use that is more than one (1) single family residential unit or any non-residential use requires a backflow prevention device.
 - d. Fire Water Service: For onsite private Fire System uses:
 - i. Where the domestic water service and meters connected to the Public Potable Water System that serves any use that is more than one (1) single family detached residential unit, or any non-residential use: if an onsite private fire system is required, then a separate Fire Service with Double Check Detector Assembly (DCDA) per City Standard #4208 connected to the Public Potable Water System is required, to serve the onsite private fire system. The onsite fire system and onsite domestic water plumbing system shall be separate.
 - 1. This Project requires a minimum of two (2) fire services with DCDAs with the private onsite fire water system looped between the service/DCDAs. One Fire Service with DCDA shall be located along Euclid Avenue and one shall be located along Walnut Avenue.
 - e. Fire Hydrants:
 - i. Fire Hydrants along Public Potable Water Mains shall be installed to be spaced a maximum of 300 feet apart or per Fire Department Standards/Requirements, whichever is closer.
 - ii. Existing Public Fire Hydrants along the Project frontage that do not meet current City Standards shall be abandoned and replaced with new Fire Hydrants that meet current City Standards.
 - f. Private Onsite Water System and Plumbing: The Onsite Water Systems (Domestic, Fire, Irrigation) shall be privately maintained by the property owner.
10. Existing Public Potable Water Main: The existing Public Potable Water Main along the west side of Euclid Avenue behind curb requires additional RoW/PUE per the "Minimum RoW/PUE Area Requirements" and "PUE Restrictions" section of these Conditions of Approval.

Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:

- 11. City Ordinance 2689: This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation for HOA maintained areas and parks. Appropriately sized public and private mains shall be installed throughout the Project to meet this requirement, as approved by the City.
- 12. Recycled Water Service: In order to comply with City Ordinance 2689:
 - a. Purple Ready:
 - i. A recycled water main is Master Planned to be installed in the future within Walnut Street east of Euclid Avenue and in Euclid Avenue just north of Walnut Street.
 - ii. Design and construct all Project irrigation areas that are permissible of using recycled water to the standards and requirements to use recycled water (such as using purple pipe, preparation and approval of an Engineer's Report for Recycled Water Use, etc).
 - iii. Install irrigation services with meters for future recycled water use along Euclid Avenue as closest to Walnut Street that is feasible connecting to the public potable water system temporarily until recycle water becomes available to the Project.
 - iv. When recycled water becomes available to the Project, the Project shall connect to recycled water and convert to recycled water use and all costs and fees shall be borne solely by the Project/Applicant.
 - v. Community Service District (CFD) Maintained Irrigation Areas: Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owners association require irrigation services and meters separate from those that are maintained by the property owner or owners association
- 13. RW Program Requirements: In order to receive RW service, the applicant shall comply with each of the following:
 - a. Prior to Precise Grading Plan Approval and Building Permits Issuance:

- i. Provide two hard copies and the digital files (in PDF and AutoCAD format) for both on-site and off-site utility plans, including landscape and irrigation improvements.
 - ii. Submit an **Engineering Report (ER)** to the City detailing recycled water usage for review and approval by the City and the State. The review process for the ER is typically 3 months. City will coordinate the State's approval of the ER.
 - iii. For details, contact OMUCWQPlanCheck@ontarioca.gov.
- b. Prior to Occupancy Release/Finalizing:
- i. Pass start-up and cross-connection test successfully.
 - ii. Provide evidence demonstrating the training of on-site supervisor or designee as determined in the ER.



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
 Rudy Zeledon, Planning Director (Copy of memo only)
 Diane Ayala, Advanced Planning Division (Copy of memo only)
 Charity Hernandez, Economic Development
 James Caro, Building Department
 Raymond Lee, Engineering Department
 Jamie Richardson, Landscape Planning Division
 Dennis Mejia, Municipal Utility Company
 Heather Lugo, Police Department
 Paul Erhman, Deputy Fire Chief/Fire Marshal
 Jay Bautista, Traffic/Transportation Manager
 Lorena Mejia, Airport Planning
 Jeff Tang, Engineering/NPDES
 Angela Magana, Community Improvement (Copy of memo only)
 Jimmy Chang, IPA Department
 Blaine Ishii, Integrated Waste

Revision #2

FROM: Alexis Vaughn, Associate Planner

DATE: May 31, 2023

SUBJECT: FILE #: PUD-22-004

Finance Acct#: PU006

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Planned Unit Development establishing land use designations, and development standards and guidelines, which will govern the development of 10.6 acres of land generally located at the northwest corner of Euclid Avenue and Walnut Street (APNs: 1051-271-67, 1051-271-06, 1051-271-66). Related Files: PDEV22-027, PHP22-015)

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.



CITY OF ONTARIO

MEMORANDUM

TO: Alexis Vaughn, Associate Planner
Planning Department

FROM: Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal
Fire Department

DATE: November 7, 2022

SUBJECT: PUD-22-004 - A Planned Unit Development establishing land use designations, and development standards and guidelines, which will govern the development of 10.6 acres of land generally located at the northwest corner of Euclid Avenue and Walnut Street (APNs: 1051-271-67, 1051-271-06, 1051-271-66). Related Files: PDEV22-027, PHP22-015).

-
- The plan **does** adequately address Fire Department requirements at this time.
- No comments.
-



CITY OF ONTARIO MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
 Rudy Zeledon, Planning Director (Copy of memo only)
 Diane Ayala, Advanced Planning Division (Copy of memo only)
 Charity Hernandez, Economic Development
 James Caro, Building Department
 Raymond Lee, Engineering Department
 Jamie Richardson, Landscape Planning Division
 Dennis Mejia, Municipal Utility Company
 Jeremy Phillips, Police Department
 Paul Erhman, Deputy Fire Chief/Fire Marshal
 Jay Bautista, Traffic/Transportation Manager
 Lorena Mejia, Airport Planning
 Tricia Espinoza, Engineering/NPDES
 Angela Magana, Community Improvement (Copy of memo only)
 Jimmy Chang, IPA Department
 Ben Mayorga, Integrated Waste

FROM: Alexis Vaughn, Associate Planner

DATE: October 24, 2022

SUBJECT: FILE #: PUD-22-004 Finance Acct#: PU006

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

- Note:**
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: PUD associated with PDEV22-027 (description to be revised)

- The plan ~~does~~ adequately address the departmental concerns at this time.
 - No comments
 - Report ~~attached~~ (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

ONTARIO POLICE
Department

AUTONTO GALBAN
Signature

POLICE OFFICER
Title

11/2/22
Date



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
 Rudy Zeledon, Planning Director (Copy of memo only)
 Diane Ayala, Advanced Planning Division (Copy of memo only)
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 Jay Bautista, Traffic/Transportation Manager
 Lorena Mejia, Airport Planning
 Jeff Tang, Engineering/NPDES
 Angela Magana, Community Improvement (Copy of memo only)
 Jimmy Chang, IPA Department
 Blaine Ishii, Integrated Waste

Revision #2

FROM: Alexis Vaughn, Associate Planner

DATE: May 31, 2023

SUBJECT: FILE #: PUD-22-004 Finance Acct#: PU006

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Planned Unit Development establishing land use designations, and development standards and guidelines, which will govern the development of 10.6 acres of land generally located at the northwest corner of Euclid Avenue and Walnut Street (APNs: 1051-271-67, 1051-271-06, 1051-271-66). Related Files: PDEV22-027, PHP22-015)

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

Project File No.: PDEV22-027 & PUD22-004

Address: NWC of Euclid Ave and Walnut Street

APN: 1051-271-67, 06 & 66

Existing Land Use: Commercial shopping center with vacant/underutilized buildings

Proposed Land Use: Development Plan to construct 346 multi-family units and 6,000 SF of commercial

Site Acreage: 10.63 Proposed Structure Height: 55 FT

ONT-IAC Project Review: N/A

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Alexis Vaughn

Date: 1/30/2023

CD No.: 2022-051

PALU No.: N/A

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="checkbox"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input type="radio"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="checkbox"/> Zone 4		Allowable Height: <u>200 FT+</u>	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP Consistent Consistent with Conditions Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.



Airport Planner Signature: _____